



SCALE: 1" = 20'

16

15.0 FEET WIDE DRIVEWAY AND UTILITY EASEMENT PER LIBER 1710, PAGE 535

EX. CB RIM=832.81 15" S. INV=829.46

EX. CB RIM=832.83 15" N. INV=829.08 24" S. INV=829.08

EX. BITUMINOUS PARKING

BM#1 ELEV.=835.96

LOCATION OF POSSIBLE 12" WATER MAIN STUB PER AYRES, LEWIS, NORRIS & MAY AS-BUILT DRAWING (REVISED 11/79)

16 15.0 FEET WIDE DRIVEWAY AND UTILITY EASEMENT PER LIBER 1710, PAGE 535

ELLSWORTH ROAD EX. BITUMINOUS ROAD (VARIABLE WIDTH)

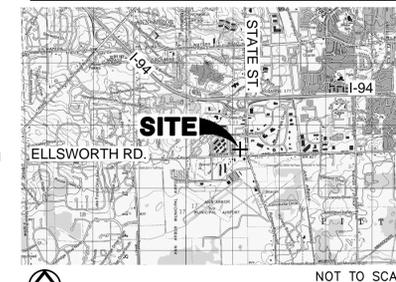
16

55.0 FEET WIDE DRAINAGE AND STORM WATER EASEMENT PER LIBER 1710, PAGE 535

BENCHMARKS

- B.M. #1 - TOP OF CONCRETE LIGHT POLE BASE IN PARKING LOT OF TYNER'S FURNITURE; +/- 160' NORTH OF THE CENTERLINE OF ELLSWORTH ROAD; +/- 140' WEST OF PINTER'S FLOWERS BUILDING.
NAVD88 ELEV.=835.96'
- B.M. #2 - CUT "X" IN WEST SIDE, TOP OF CONCRETE LIGHT POLE BASE; NORTH SIDE OF ELLSWORTH ROAD @ WESTERLY ENTRANCE TO TYNER'S FURNITURE.
NAVD88 ELEV.=839.32'

VICINITY MAP



LEGEND

- 838 EXIST. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- o- U.P. EXIST. UTILITY POLE
- x- GUY WIRE
- x- ELEC. TRANSFORMER
- OH- EXIST. OVERHEAD UTILITY LINE
- x- EXIST. LIGHT POLE
- t- EXIST. TELEPHONE LINE
- e- EXIST. ELECTRIC LINE
- g- EXIST. GAS LINE
- g- EXIST. GAS VALVE
- f.o.- EXIST. FIBER OPTIC LINE
- w- EXIST. WATER MAIN
- x- EXIST. HYDRANT
- x- EXIST. GATE VALVE IN BOX
- x- EXIST. GATE VALVE IN WELL
- x- EXIST. STORM SEWER
- x- EXIST. CATCH BASIN OR INLET
- x- END SECTION
- x- EXIST. SANITARY SEWER
- x- SIGN
- x- MAILBOX
- x- TELEPHONE RISER
- x- GAS METER
- x- FENCE
- x- TREE OR BRUSH LIMIT
- x- SECTION CORNER
- x- FOUND P.K.
- x- FOUND IRON ROD
- x- CONTROL PT.
- x- EXIST. FLAG POLE
- x- TRAFFIC SIGNAL CONTROL BOX
- x- CRABAPPLE TREE
- x- LOCUST TREE
- x- MAPLE TREE
- x- PINE TREE
- x- EXIST. CABLE TV LINE

LEGAL DESCRIPTION

LEGAL DESCRIPTION OF A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, TOWN 3 SOUTH, RANGE 6 EAST, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

BEGINNING at a point distant South 86°47'50" West 75.05 feet along the South line of said Section and the centerline of Ellsworth Road from the Southeast corner of Section 8, Town 3 South, Range 6 East, Pittsfield Township, Washtenaw County, Michigan;

thence South 86°47'50" West 205.14 feet along the Southerly line of said Section and the centerline of Ellsworth Road;
thence North 01°06'00" West 349.05 feet;
thence North 88°54'00" East 205.0 feet;
thence South 01°06'00" East 341.52 feet along the Westerly Right of Way line of State Street (150 feet wide) to the POINT OF BEGINNING.

Subject to easement rights for highway purposes over the Southerly 60.0 feet for Ellsworth Road. Also subject to a proposed 17.5 feet wide drive and utility easement along and adjacent to the North property line and also a 15.0 feet wide drive and utility easement along and adjacent to the West property line. Also subject to a proposed drainage and storm water detention easement 35.0 feet wide along the East property line and the Northerly 55.8 feet (55.0 feet per Liber 1710, Page 533) of the Southerly 115.0 feet, also subject to a common parking easement.

Also Subject to:

- Easements for utilities, stormwater, driveway, and common parking as set forth in instruments recorded in Liber 1710, Page 533, and Liber 4932, Page 654, Washtenaw County Records.
- Release of Right of Way for highway purposes to the County of Washtenaw, as recorded in Liber 1582, Page 418, Washtenaw County Records.
- Agreement with the City of Ann Arbor as to water rights as recorded in Liber 3 of Miscellaneous Records, Page 159, Washtenaw County Records.
- Public Road Easement in favor of Board of County Road Commissioners of the County of Washtenaw as recorded in Liber 4917, Page 339, Washtenaw County Records.



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

SITE SURVEY



MIDWESTERN CONSULTING
Civil, Environmental and Transportation Engineers
Planners, Surveyors
Landscape Architects

| REVISIONS | |
|---|-----------|
| ISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 NOV 14 |
| REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 FEB 15 |
| ISSUED FOR 2DA VARIANCES | 20 FEB 15 |
| REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 MAR 15 |
| REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 MAR 15 |
| ISSUED FOR FINAL SITE PLAN APP | 27 JUL 15 |

| | |
|---------------|-----------|
| JOB | 2014-50 |
| DATE | 06 JAN 15 |
| DRAWN | TPH |
| CHECKED | BWW |
| DETAIL SYMBOL | |

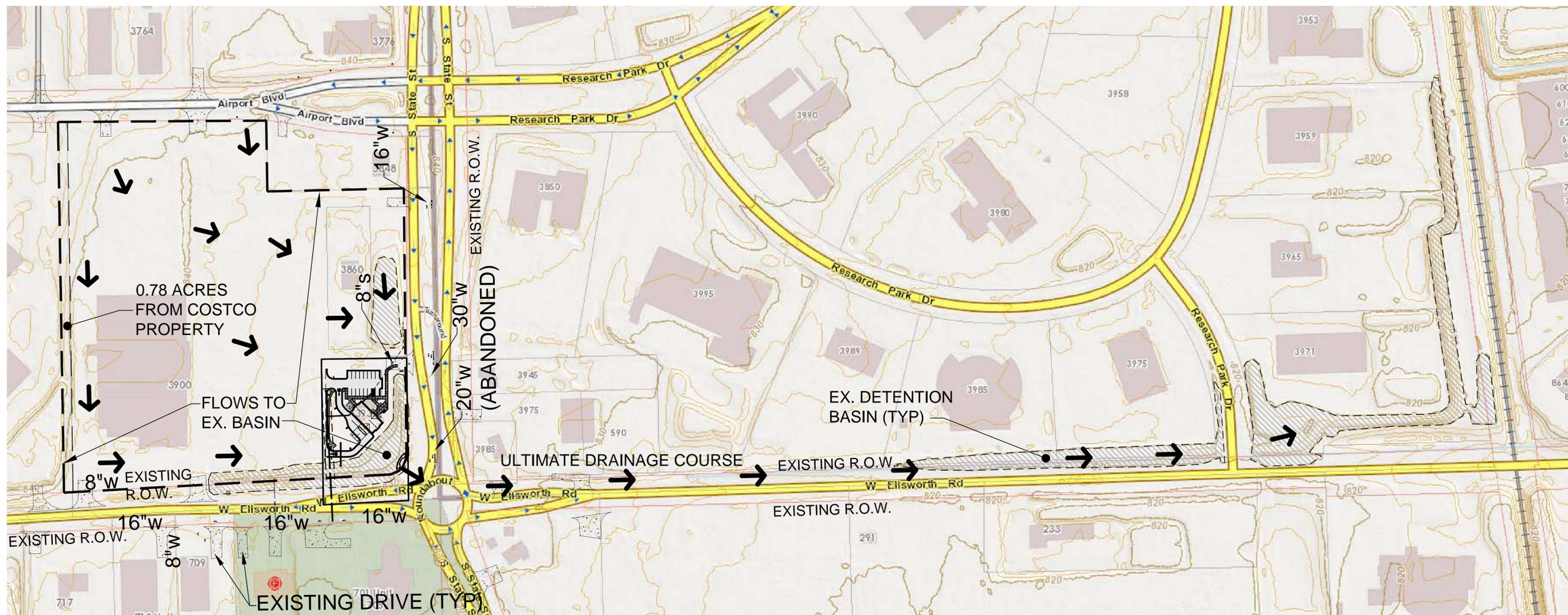
DETAIL NUMBER REFERENCE SHEET

2 LS1.1 PITTSFIELD BRANCH

MCI JOB#: 14118



SCALE: 1" = 120'
0 120 240 360



AREA WIDE DRAINAGE/UTILITY MAP



Ann Arbor State Bank

MIDWESTERN CONSULTING
Civil, Environmental and Transportation Engineers
Planners, Surveyors
Landscape Architects
3815 Plaza Drive
Ann Arbor, Michigan 48108
Phone: 734.995.0200
Fax: 734.995.0999

MCI JOB#: 14118

| REVISIONS | |
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| ISSUED FOR ZBA VARIANCES 20 FEB 15 | |
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| REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP # 22 JULY 15 | CONDITIONAL USE 08 JUNE 15 |
| ISSUED FOR FINAL SITE PLAN APP 22 JULY 15 | |

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| DATE | 06 JAN 15 |
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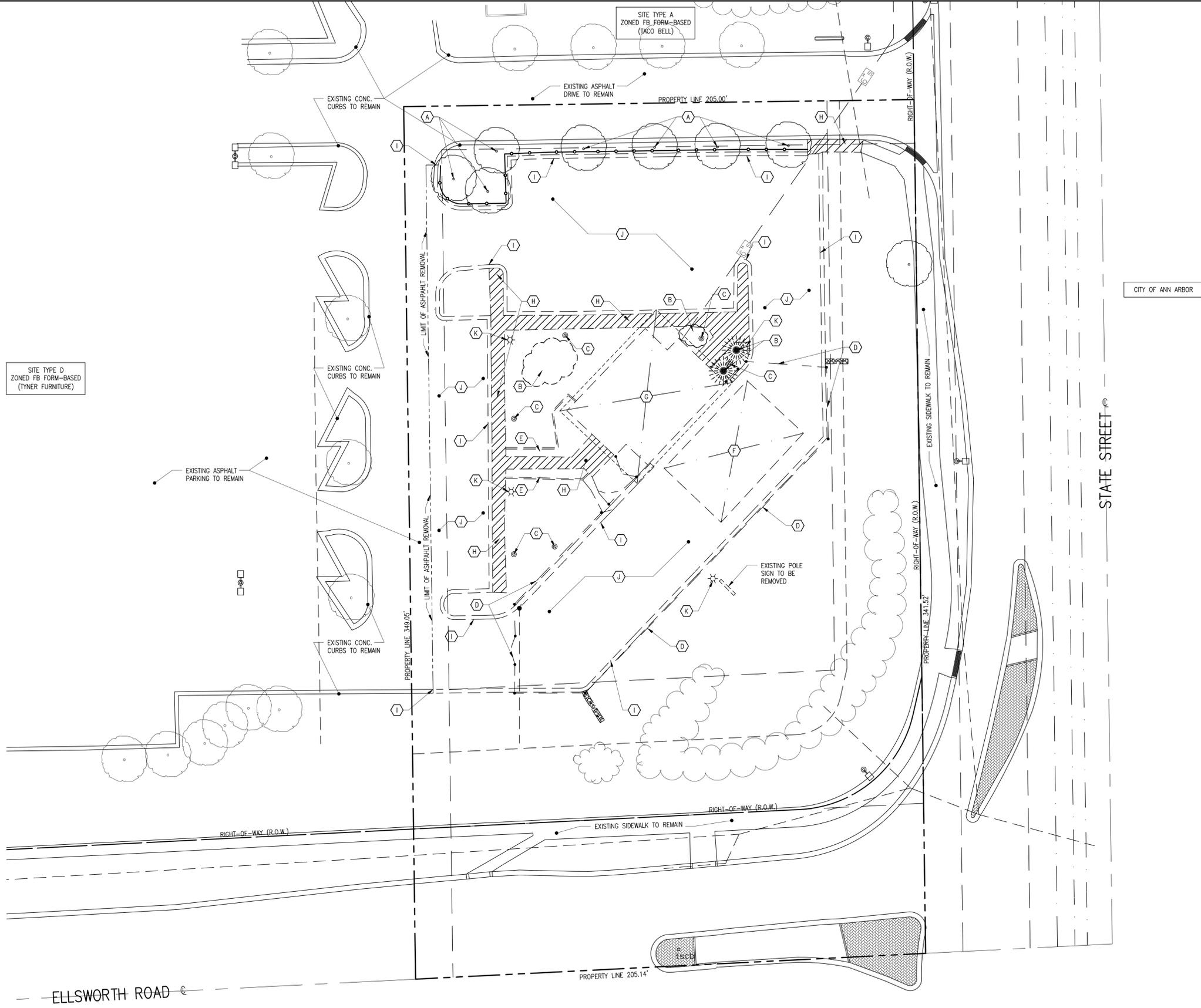


3
LS1.2
PITTSFIELD BRANCH



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AREA WIDE MAP



GENERAL NOTES

- COORDINATE WITH SITE SURVEY LS1.1 AND LS1.2 AND SITE UTILITY DRAWINGS FOR EXISTING UTILITY APPROXIMATE LOCATIONS. ALL UTILITIES TO BE FIELD LOCATED PRIOR TO START OF DEMOLITION.
- PROVIDE 8 FT STEEL STAKE POST WITH PERMANENT LABEL AT TERMINATION POINT ALL U.G. UTILITIES CUT OR CAPPED.
- COORDINATE WITH ALL SITE DRAWINGS AND SITE UTILITY DRAWINGS FOR EXISTING UTILITIES AND SITE FEATURES TO REMAIN.
- ALL TREE PROTECTION AND SOIL EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO START OF DEMOLITION OPERATIONS.
- PROTECT ALL OFFSITE EXISTING SIDEWALKS, CURBS, STREETS TO REMAIN. CONTRACTOR REMOVE AND REPLACE ANY AREAS DAMAGED DURING CONSTRUCTION OPERATIONS.
- COORDINATE ALL "OFFSITE" WORK WITH ADJACENT PROPERTY OWNERS AND/OR GOVERNMENTAL AGENCIES FOR ANY WORK AFFECTING OFFSITE AREAS.

SELECTIVE DEMOLITION NOTES:

- (A) EXISTING TREES TO REMAIN. INSTALL TREE PROTECTION PRIOR TO START OF SELECTIVE DEMOLITION SITE STRIPPING.
- (B) REMOVE EXISTING TREES, SHRUBS, INCLUDING STUMPS, ROOTS, AND BRANCHES.
- (C) REMOVE EXISTING FLAGPOLES AND CONCRETE FOUNDATIONS.
- (D) REMOVE REMAINING PORTIONS OF EXISTING CHAIN LINK FENCE, GATES, POSTS, AND POST FOUNDATIONS.
- (E) REMOVE ALL LANDSCAPING MATERIALS INCLUDING ROOTS, SOD AND TOPSOIL.
- (F) REMOVE ALL REMAINING GREENHOUSE POSTS AND STRUCTURE.
- (G) REMOVE ENTIRE EXISTING BUILDING CONSTRUCTION INCLUDING FOUNDATIONS, FOOTINGS, ALL UNDERGROUND PIPING, DRAINS AND CONDUITS.
- (H) REMOVE SIDEWALK TO LIMITS SHOWN.
- (I) REMOVE ALL CONCRETE CURBS. SAWCUT AND REMOVE AT SHOWN LIMITS.
- (J) REMOVE ALL ASPHALT PAVING AND AGGREGATE BASE. SAWCUT AT SHOWN LIMITS.
- (K) REMOVE EXISTING POLE LIGHTS

LEGEND:

- SEWER PIPE
- WATER LINE
- STORM LINE
- LIMITS OF DEMOLITION
- REMOVAL LIMITS
- RIGHT-OF-WAY LINE
- TREE PROTECTION
- ☀ TREE/SHRUB TO BE REMOVED
- TREE/SHRUB TO REMAIN
- ★ EXIST LIGHT POLE

CITY OF ANN ARBOR

STATE STREET

ELLSWORTH ROAD



SITE SELECTIVE DEMOLITION PLAN

SCALE: 1" = 20'-0"



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PITTSFIELD TWP. BRANCH



DANIELS AND ZERMACK ARCHITECTS, L.L.C.
Architects and Interior Designers
 2080 South State Street, Ann Arbor, Michigan 48104 734-761-2090

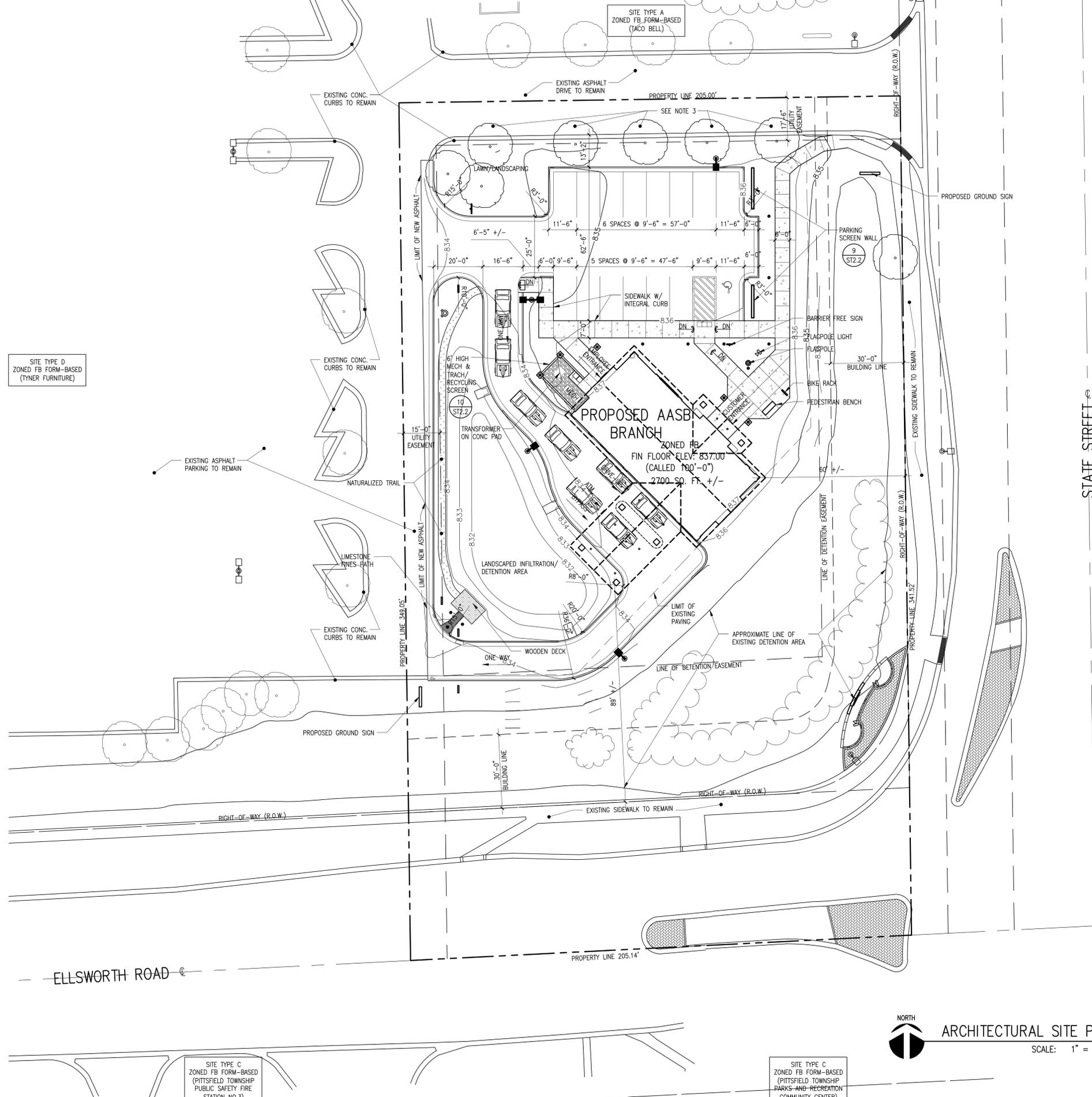
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| REVISED AND REISSUED FOR PRELIMINARY SITE PLAN APP & CONDITIONAL USE 20 MAR 15 | REVISED AND REISSUED FOR PRELIMINARY SITE PLAN APP & CONDITIONAL USE 08 JUN 15 |
| ISSUED FOR FINAL SITE PLAN APP | 22 JUL 15 |

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| DATE | 20 NOV 14 |
| DRAWN | KMK |
| CHECKED | GAM/SP |

DETAIL SYMBOL

 DETAIL NUMBER REFERENCE SHEET

4
 ST0.1
 PITTSFIELD BRANCH



GENERAL NOTES

- COORDINATE ALL WORK AFFECTING UTILITIES OR ACCESS AT OFFSITE DRIVES AND BUSINESSES PRIOR TO ANY CONSTRUCTION ACTIVITY AFFECTING THOSE AREAS.
- 96 GAL TRASH AND RECYCLING CARTS TO BE STORED BEHIND MECHANICAL SCREEN. CARTS TO BE WHEELED TO CURB FOR SCHEDULED PICK-UPS.
- ANN ARBOR STATE BANK AGREES TO REMOVE FIVE EXISTING TREES ALONG THE SOUTHERLY EDGE OF THE STATE STREET DRIVE AND TO INSTALL A CONCRETE SIDEWALK ALONG THE NORTHERN FRONTAGE IF, WITHIN A PERIOD OF FIVE YEARS FROM COMPLETION OF THE BANK PROJECT, THE PROPERTY TO THE IMMEDIATE WEST OF THE BANK SITE BE DEVELOPED AND CONSTRUCTED WITHIN THE FIVE YEAR PERIOD.

LEGEND:

- NEW SITE POLE LIGHT
- EXISTING SITE POLE LIGHT
- NEW BOLLARD LIGHT
- NEW FIRE HYDRANT
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT-OF-WAY LINE

CITY OF ANN ARBOR

STATE STREET

ELLSWORTH ROAD



ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PUBLIC SAFETY FIRE
STATION NO.3)

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PARKS AND RECREATION
COMMUNITY CENTER)

SITE TYPE B
ZONED FB FORM-BASED
(SPEEDWAY GAS STATION)



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ARCHITECTURAL SITE PLAN

PITTSFIELD TWP.
BRANCH



DANIELS AND ZERMACK
Architects and Interior Designers
ARCHITECTS, L.L.C.
2080 South State Street, Ann Arbor, Michigan 48104 734-761-2090

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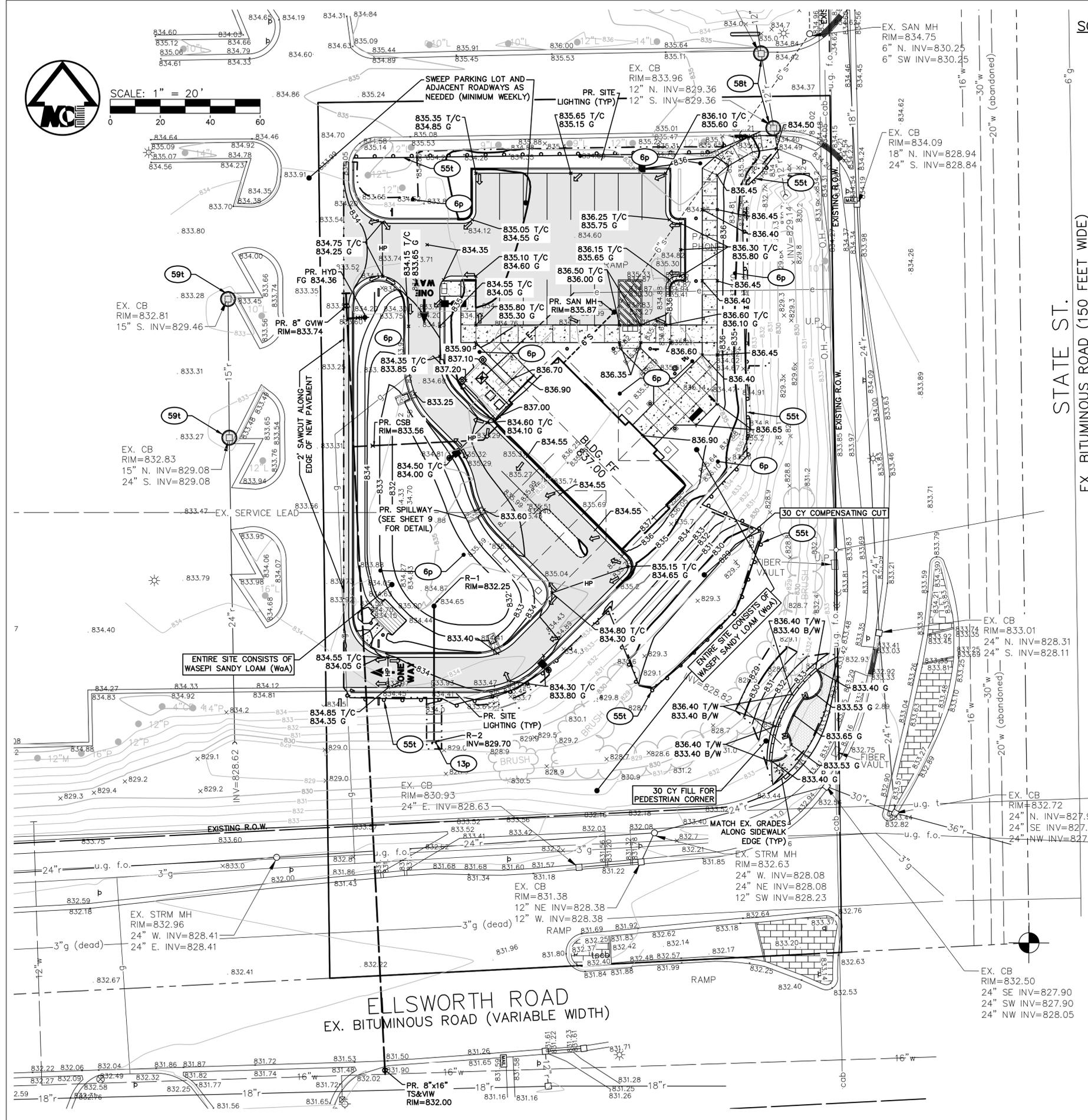
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DETAIL SYMBOL
DETAIL NUMBER
REFERENCE SHEET

5
ST.1
PITTSFIELD BRANCH

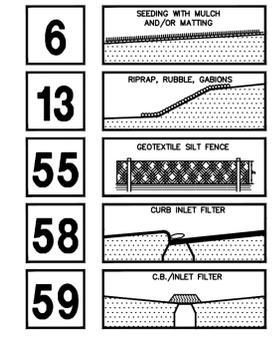


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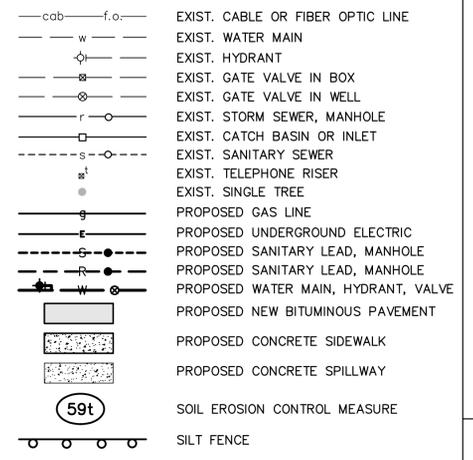


SOIL EROSION CONTROL MEASURES

t = temporary p = permanent



LEGEND



SOIL EROSION AND SEDIMENTATION CONTROL PLAN

- DESCRIPTION OF PROJECT: PROPOSED NEW BUILDING ON PREVIOUSLY DEVELOPED SITE.
- PREDOMINANT LAND FEATURES ARE SHOWN ON THE DRAWINGS.
- GROUND SURFACE ELEVATIONS ARE SHOWN AS CONTOUR INTERVALS
- SOILS FOR THE AREA ARE: WASEPI SANDY LOAM (WaA) 0% TO 4%
- PHYSICAL LIMITS OF CONSTRUCTION ARE SHOWN ON THE DRAWING. APPROXIMATE SITE DISTURBANCE IS 0.82 ACRES.
- ALL EXISTING ON-SITE DRAINAGE FEATURES ARE SHOWN ON THE DRAWINGS.
- SEQUENCE OF CONSTRUCTION:
 - ON-GOING: MIDWESTERN CONSULTING, LLC WILL INSPECT ALL PROJECTS AT LEAST WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT TO EVALUATE THE EFFECTIVENESS OF THE CONTROL MEASURES.
 - APRIL 2015 - CONSTRUCT TEMPORARY EROSION CONTROL MEASURES
 - APRIL 2015 - MAY 2015 - SITE REMOVALS
 - MAY 2015 - SITE CONSTRUCTION
 - SEPTEMBER 2015 - PLACE PERMANENT EROSION CONTROL MEASURES
- THE LOCATION AND DETAILS OF THE INLET FILTERS AND SILT FENCES ARE SHOWN ON THE DRAWINGS.
- THE LOCATION AND DESCRIPTION OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN ON THE DRAWINGS.
- THE CONTRACTOR WILL RESTORE ALL DISTURBED GRASS AREAS WITHIN FIVE (5) DAYS OF THE CONTRACTORS FINE GRADING ACTIVITIES.
- THE CONTRACTOR AS DIRECTED BY THE CONSTRUCTION MANAGER WILL BE RESPONSIBLE FOR ALL MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES PER THE PLANS AND AS NEEDED BASED ON SITE INSPECTIONS.
- TEMPORARY MEASURES WILL ONLY BE REMOVED AFTER ALL PERMANENT MEASURES ARE IN PLACE AND COMPLETE INCLUDING WELL ROOTED GROWTH IN THE GRASS AREAS.
- THE CONTRACTOR SHALL AS A TEMPORARY MEASURE SEED AND MULCH DISTURBED AREAS THAT ARE NOT ACTUALLY PART OF THE CONSTRUCTION WORK ZONE IF SAID AREAS ARE NOT TO BE WORKED ON FOR ANY EXTENDED PERIOD OF TIME.
- PLACE ANTI-TRACKING MUD MATS AT LOCATIONS AS REQUIRED BY THE CONSTRUCTION MANAGER.
- SOIL MUST NOT BE PERMITTED TO LEAVE THE SITE. THIS INCLUDES TRACK-OUT AND DUST EMISSIONS. PROVIDE SWEEPING AND DUST CONTROL PER YPSILANTI TOWNSHIP SOIL EROSION AND SEDIMENTATION CONTROL PROCEDURES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LANDSCAPING DURING THE WARRANTY PERIOD.

Site Specific Soils

According to the Washtenaw County records, the site generally consists of Wasepi Sandy Loam (WaA) with slopes ranging from 0%-4%. Two test pits were dug for infiltration testing and the results are as follows:

Test Pit #1

The Test Pit #1 was located in the pervious area west of the existing buildings. The following soils were encountered: 10 inches of sandy topsoil underlain by fill soil consisting of brown silty sand with gravel to 2.0 feet, light brown poorly graded sand with silt and miscellaneous clay to 2.7 feet, crushed limestone aggregate to 3.2 feet and brown clayey sand with gravel to 5.5 feet. Beneath the fill soil at 5.5 feet, light brown poorly graded sand with gravel was encountered to the 6.0 foot termination depth of the test pit. At the time of the visit, groundwater was not encountered in Test Pit #1.

Test Pit #2

The Test Pit #2 was located in the northwest landscape island. The following soils were encountered: 10 inches of sandy topsoil underlain by fill soil consisting of brown poorly graded silty sand to 2.0 feet and brown clayey sand with gravel to a depth of 3.8 feet. Beneath the fill soil at 3.8 feet, brown to light brown stratified poorly graded sand with gravel was encountered to a depth of 5.3 feet, beneath which light brown poorly graded sand with trace gravel was encountered to the 6.0 foot termination depth of the test pit. At the time of the visit, groundwater was not encountered in Test Pit #2.

Sanitary Sewer Basis of Design

ESTIMATED FLOW FROM PROPOSED BUILDING:
0.10 GPD/ft² OF BUILDING AREA = 2700 ft² * 0.10 GPD = 270 GPD = 0.00042 cfs
PEAKING FACTOR = 4
DESIGN FLOW = 4 * 0.00042 cfs = 0.0017 cfs
CAPACITY OF 6" DIA. SDR 26 PVC (n=0.012) @ MIN. 2% = 0.86 cfs (FLOWING FULL)
0.86 cfs > 0.0017 cfs → DESIGN IS ACCEPTABLE

STATE ST.
EX. BITUMINOUS ROAD (150 FEET WIDE)

ELLSWORTH ROAD
EX. BITUMINOUS ROAD (VARIABLE WIDTH)



MIDWESTERN CONSULTING
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Landscape Architects
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Ann Arbor, Michigan 48108
Phone: 734.965.0200
Fax: 734.965.0599

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| DETAIL SYMBOL | |

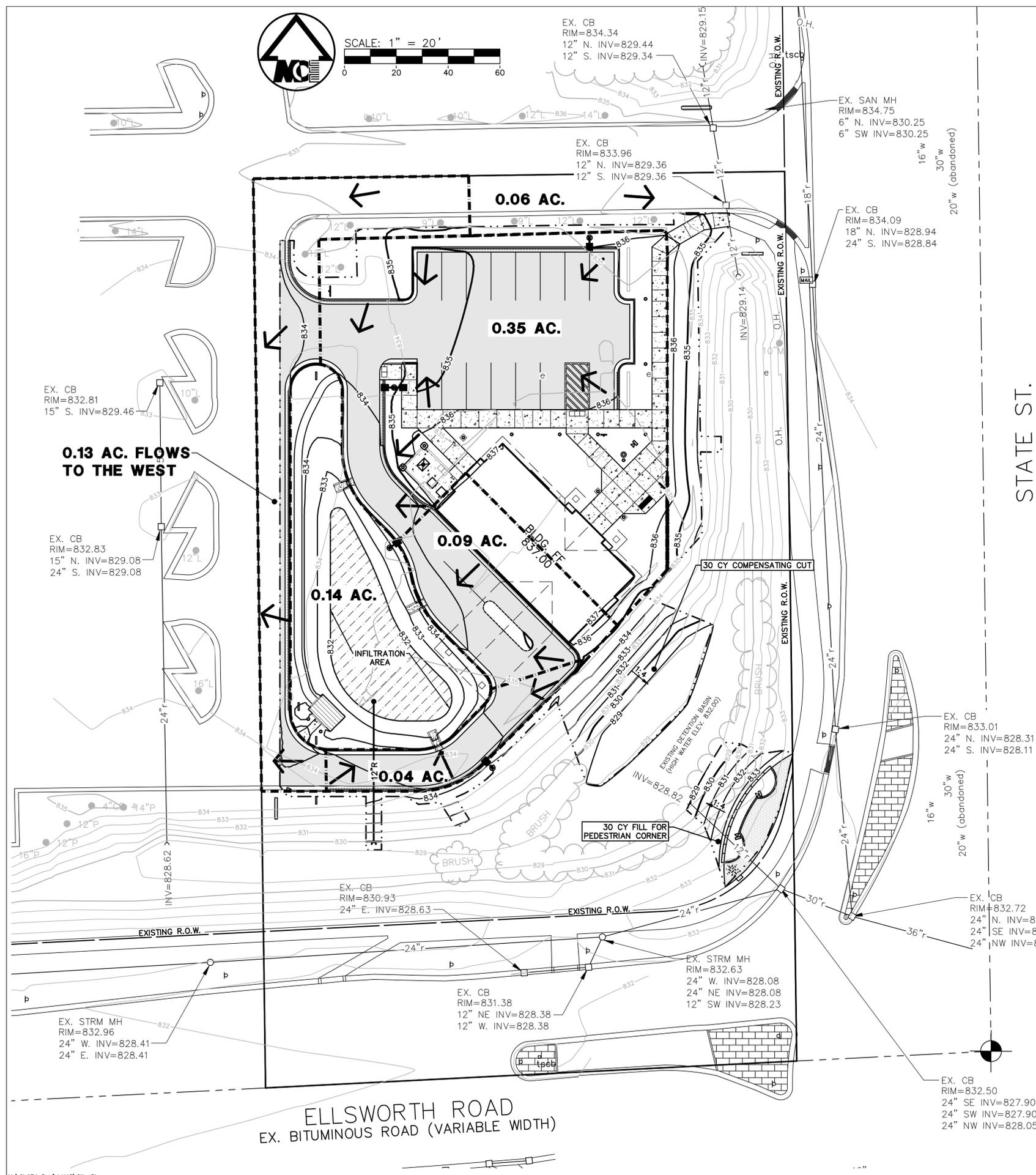


6
ST.1.2
PITTSFIELD BRANCH



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GRADING & SOIL EROSION CONTROL PLAN



Ann Arbor State Bank
 Preliminary Stormwater Calculations
 Midwest Consulting LLC
 20-Jul-15

W0 - Impervious Area Summary

Existing Site Areas (square feet)
 * SC-BMP = self-crediting BMP

| Area | Total Site | Undisturbed | Total | Total Site | Total Site | Total Site |
|-------------------------|--------------|--------------|--------|--------------|--------------|--------------|
| | Free Release | Free Release | SC-BMP | Minus SC-BMP | Minus SC-BMP | Minus SC-BMP |
| Impervious Surface Area | 29,928 | 0 | 29,928 | 29,928 | 0 | 29,928 |
| Lawn/Landscape Area | 27,969 | 0 | 27,969 | 27,969 | 0 | 27,969 |
| Total Area | 57,896 | 0 | 57,896 | 57,896 | 0 | 57,896 |

Post-Development Site Areas (acres)
 * SC-BMP = self-crediting BMP

| Area | Total Site | Undisturbed | Total | Total Site | Total Site | Total Site |
|-------------------------|--------------|--------------|--------|--------------|--------------|--------------|
| | Free Release | Free Release | SC-BMP | Minus SC-BMP | Minus SC-BMP | Minus SC-BMP |
| Impervious Surface Area | 24,149 | 0 | 24,149 | 24,149 | 0 | 24,149 |
| Lawn/Landscape Area | 33,748 | 0 | 33,748 | 33,748 | 0 | 33,748 |
| Total Area | 57,896 | 0 | 57,896 | 57,896 | 0 | 57,896 |

*Note: Entire existing detention basin included in site area calculations. However, only a small portion of the basin area will be disturbed.
 Total Disturbed Area = 41,054 sq ft = 0.94 ac

AA State Bank Infiltration Zone Calculations

W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

*Note: "Contributing Site Area" describes that portion of the site which will contribute storm water to the infiltration basin. The detention area (21,774 sq ft) is excluded from the following area calculations.

Total Contributing Site Area: 0.82 ac
 Total Contributing Site Area Excluding "Self-Crediting" BMPs: 0.82 ac

Rational Method Variables

| Cover Type | Soil Type | Area (sq ft) | Area (ac) | Runoff Coeff. (C) | (C) (Area) |
|-------------|-----------|--------------|-----------|-------------------|------------|
| Post-Roads | A | 23,549 | 0.54 | 0.95 | 0.51 |
| Landscaping | B | 12,540 | 0.29 | 0.25 | 0.07 |
| Total | | 36,088 | 0.83 | | 0.59 |

Total - (Sum(C)/Area) Area Total: 0.59 ac
 Weighted C - (Sum(C)/Area)/(Area Total): 0.71

NRCS Variables

| Cover Type | Soil Type | Area (sq ft) | Area (ac) | Curve Number | (CN) (Area) |
|-------------|-----------|--------------|-----------|--------------|-------------|
| Landscaping | B | 12,540 | 0.29 | 61 | 0.18 |
| Total | | 12,540 | 0.29 | 61 | 0.18 |

Total - (Sum(C)/Area) Area Total: 0.18 ac
 Weighted C - (Sum(C)/Area)/(Area Total): 0.29

NRCS Variables

| Cover Type | Soil Type | Area (sq ft) | Area (ac) | Curve Number | (CN) (Area) |
|------------|-----------|--------------|-----------|--------------|-------------|
| Post-Roads | N/A | 23,549 | 0.54 | 98 | 0.53 |
| Total | | 23,549 | 0.54 | 98 | 0.53 |

Total - (Sum(C)/Area) Area Total: 0.53 ac
 Weighted C - (Sum(C)/Area)/(Area Total): 0.54

W2 - First Flush Runoff Calculations (Vf)

A. Vff = 1" x 1112" x 43560 sq ft/ac x A x C: 2,126 cu ft

W3 - Pre-Development Bankfull Runoff Calculations (Vb-pre)

A. 2 year / 24 hour storm event: P= 2.35 in

B. Pre-Development CN From Worksheet 1: 79

C. S = (1000 / CN) - 10: 2,858 in

D. Q = (P x S) / 2.45: 6,739 in

E. Total Site Area excluding "Self-Crediting" BMPs: 57,896 sq ft

F. Vb-pre = Q x (1/12) x Area: 3,564 cu ft

G. Vb-pre = Q x (1/12) x Area: 0.08 ac-ft

W4 - Previous Cover Post-Development Bankfull Runoff Calculations (Vb-post)

A. 2 year / 24 hour storm event: P= 2.35 in

B. Previous Cover CN From Worksheet 1: 61

C. S = (1000 / CN) - 10: 6,393 in

D. Q = (P x S) / 2.45: 1,436 in

E. Previous Cover Area from Worksheet 1: 12,540 sq ft

F. Vb-post = Q x (1/12) x Area: 161 cu ft

G. Vb-post = Q x (1/12) x Area: 0.00 ac-ft

W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vb-imp-post)

A. 2 year / 24 hour storm event: P= 2.35 in

B. Impervious Cover CN From Worksheet 1: 98

C. S = (1000 / CN) - 10: 0,204 in

D. Q = (P x S) / 2.45: 2,123 in

E. Impervious Cover Area from Worksheet 1: 23,549 sq ft

F. Vb-imp-post = Q x (1/12) x Area: 416 cu ft

G. Vb-imp-post = Q x (1/12) x Area: 0.10 ac-ft

W6 - Previous Cover Post-Development 100-Year Runoff Calculations (V100-pre)

A. 100 year / 24 hour storm event: P= 5.11 in

B. Previous Cover CN From Worksheet 1: 61

C. S = (1000 / CN) - 10: 6,393 in

D. Q = (P x S) / 2.45: 1,436 in

E. Previous Cover Area from Worksheet 1: 12,540 sq ft

F. V100-pre = Q x (1/12) x Area: 1,500 cu ft

G. V100-pre = Q x (1/12) x Area: 0.03 ac-ft

W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)

A. 2 year / 24 hour storm event: P= 2.35 in

B. Impervious Cover CN From Worksheet 1: 98

C. S = (1000 / CN) - 10: 0,204 in

D. Q = (P x S) / 2.45: 1,436 in

E. Impervious Cover Area from Worksheet 1: 23,549 sq ft

F. V100-imp-post = Q x (1/12) x Area: 9,563 cu ft

G. V100-imp-post = Q x (1/12) x Area: 0.22 ac-ft

W8 - Time of Concentration (Tc-hrs)

A. Assume 15-minute minimum time of concentration: 0.25 hr

W9 - Runoff Summary & On-Site Infiltration Requirement

A. Summary from Previous Worksheets

| Item | Volume (cu ft) | Volume (ac-ft) |
|---|----------------|----------------|
| Pre-Development Bankfull Runoff Volume (Vb-pre) | 3,564 | 0.08 |
| Previous Cover Post-Development Bankfull Volume (Vb-post) | 161 | 0.00 |
| Impervious Cover Post-Development Bankfull Volume (Vb-imp-post) | 4,164 | 0.10 |
| Total BF Volume (Vb-total) | 4,324 | 0.10 |
| Previous Cover Post-Development 100-Year Volume (V100-pre) | 1,500 | 0.03 |
| Impervious Cover Post-Development 100-Year Volume (V100-imp-post) | 9,563 | 0.22 |
| Total 100-Year Volume (V100-total) | 11,063 | 0.25 |

B. Determine Onsite Infiltration Requirement

Subtract the Pre-Development Bankfull Volume from the Post-Development Bankfull Volume

| Item | Volume (cu ft) | Volume (ac-ft) |
|--|----------------|----------------|
| Total Post-Development Bankfull Volume (Vb-post) | 4,324 | 0.10 |
| Pre-Development Bankfull Runoff Volume (Vb-pre) | 3,564 | 0.08 |
| Bankfull Volume Difference | 761 | 0.02 |
| Compare to First Flush Volume (Vf) | 2,126 | 0.05 |
| Greater of Bankfull Volume or First Flush Volume | 2,126 | 0.05 |
| To be infiltrated | | |

W10 - Detention/Retention Requirement

Detention

| Item | Volume (cu ft) | Volume (ac-ft) |
|--|----------------|----------------|
| A. Qp = 238.6 Tc^0.82 | 743.63 | 0.02 |
| B. Total Site Area excluding "Self-Crediting" BMPs | 0.82 | 0.02 |
| C. Q100 = Q100-pre + Q100-imp | 6,309 | 0.15 |
| D. Peak Flow (PF) = Qp x Q100 x Area / 640 | 5,99 | 0.14 |
| E. Delta = PF - Q15 x Area (ac) | 5.87 | 0.13 |
| F. Vdet = Delta / PF x V100 - Vinf | 8,711 | 0.20 |

Retention

| Item | Volume (cu ft) | Volume (ac-ft) |
|--------------------|----------------|----------------|
| A. Vret = 2 x V100 | 22,126 | 0.51 |

W11 - Determine Applicable BMPs and Associated Volume Credits

Proposed BMP

| Area (sq ft) | Stor. Vol. (cu ft) | Av. Inf. Rate (in/hr) | Inf. Volume (cu ft) | Total Red. (cu ft) |
|--|--------------------|-----------------------|---------------------|--------------------|
| Infiltration Basin | 1,955 | 489 | 12.0 | 11,730 |
| Total Volume Reduction Credit by Proposed Structural BMPs | | | | 12,219 |
| Runoff Volume Infiltration Requirement (Vinf) from Worksheet 9 | | | | 2,126 |
| Runoff Volume Credit | | | | 10,093 |

Minimum Surface Area Check

| Contributing Impervious Area | Volume (cu ft) |
|------------------------------------|----------------|
| Contributing Impervious Area | 24,149 |
| Proposed Infiltration Surface Area | 4,830 |
| Proposed Infiltration Surface Area | 1,955 |

*Note: Infiltration tests resulted in a design infiltration rate of 12 inches/hour which allows for less surface area than normally required.

STORM WATER MANAGEMENT NARRATIVE

Existing Site
 The proposed project site is located at the northwest corner of State Street and Ellsworth Road and is currently home to greenhouse/nursery buildings and parking lot. The east, southeast, and west portion of the site contains an existing drainage ditch/detention area easement for the building park. The existing site storm water runoff drains from east to west and is captured in the storm water inlets located in Tyner's parking lot. From there, the site's storm water runoff travels underground into the detention facility and ultimately discharges into the public storm sewer beneath the State Street/Ellsworth Roundabout.

Existing Detention Easement
 As previously mentioned, a large business park drainage ditch/detention area easement resides partially on our property, partially on the Tyner's property, and partially on the Taco Bell property. The drainage ditch/detention areas were designed and built in accordance with previous WCVRC standards and have been utilized by the Taco Bell parcel, Tyner's parcel, vacant parcel north of Tyner's, a small portion of the Cosco parcel, and the Pinter's parcel.

Infiltration Testing
 Midwest Consulting, Materials Testing Consultants, and the Washtenaw County Water Resources Commission (WCVRC) performed infiltration tests at the proposed site in October 2014. Specifically, two test pit locations were chosen (northwest corner - landscape island and previous area west of the building) because of the proposed layout. The tests followed the double ring method outlined in the WCVRC's Procedures and Design Criteria for Stormwater Management, at a depth of approximately 6 feet.

The test results achieved stabilized infiltration rates of 2 1/2 to 25 inches per hour, or the agreed upon 24 inches per hour for the site. A safety factor of 2 reduced the infiltration rate to 12 inches per hour in accordance with the WCVRC Rules and Guidelines.

Proposed Site
 The proposed storm water runoff will surface flow from east to west similar to the existing conditions. However, the runoff will be routed to the proposed onsite infiltration area located along the west side of the site. This is the same location as Infiltration Test Pit #1 was performed. Once the runoff reaches the infiltration area, the 100-year storm will briefly pond in the infiltration and pervious area and then infiltrate at a rate of 12 inches per hour. Storms greater than 100-year will have an emergency overflow pipe that discharges into the existing detention area.

There will also be a small (approximately 600 sq ft) pedestrian feature, consisting primarily of stamped concrete, added to the corner of State and Ellsworth at the northwest edge of the existing sidewalk. Water from this feature will flow both north and west off the concrete and back into the existing detention basin.

Summary
 We are mainly addressing our storm water management outside of the detention area by utilizing the on-site infiltration area. There will be a small amount of fill in the existing detention basin required to construct the pedestrian feature at the corner of State and Ellsworth. However, with direct guidance and direction from the WCVRC, we are compensating for this required fill by making an equal volume cut into the detention basin side slope opposite the pedestrian feature. This will essentially leave the operation and characteristics of the detention basin unchanged.

The entire existing site currently discharges into this detention area, while the proposed plan removes our site's storm water runoff from the detention area. We acknowledge the drainage ditch/detention area easement on our site but it will only be servicing other parcels in the future, aside from the 600 sq ft pedestrian feature.



STORM WATER MANAGEMENT PLAN

MCI JOB#: 14118

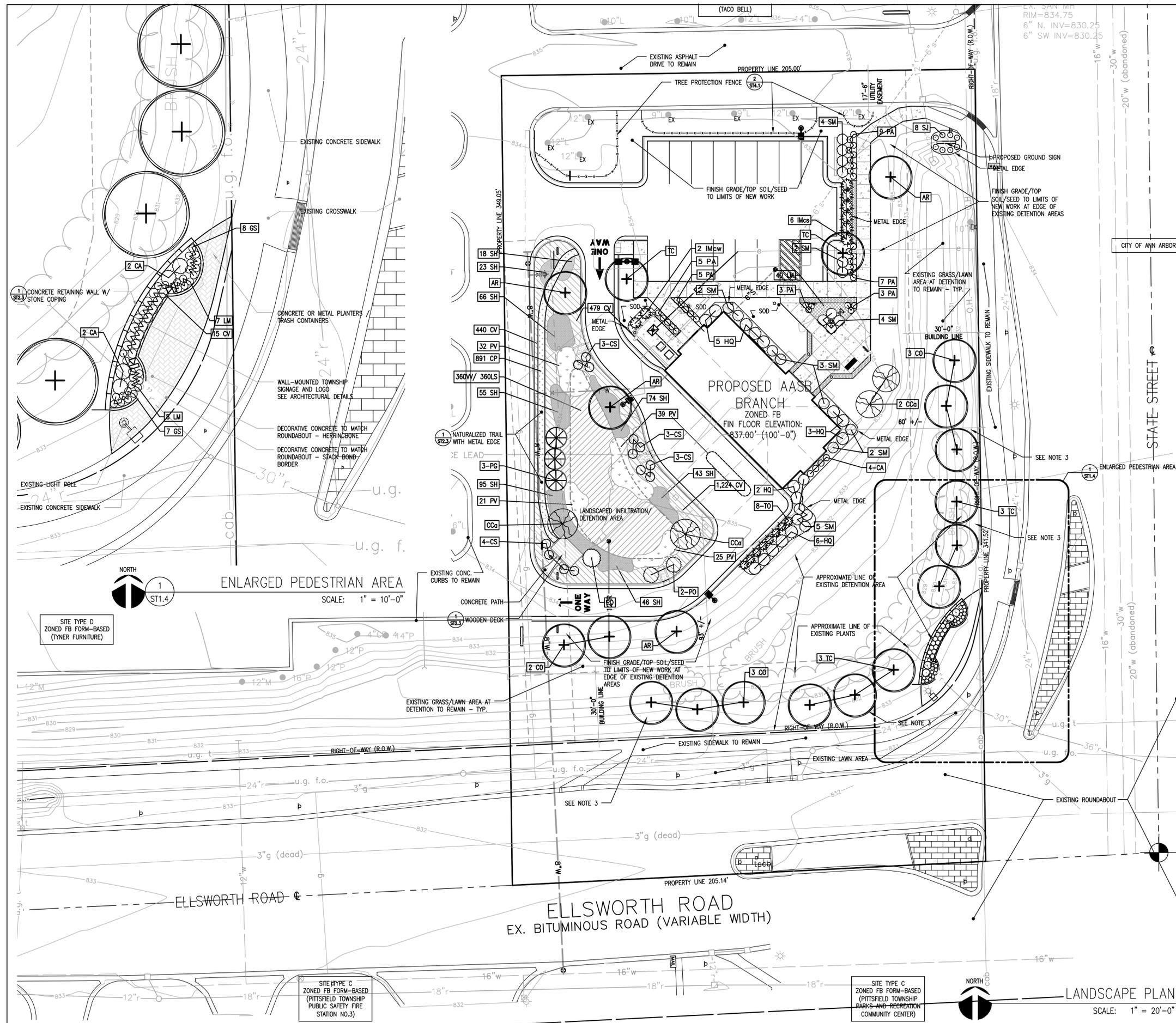
MIDWESTERN CONSULTING
 Civil, Environmental and Transportation Engineers
 3815 Plaza Drive
 Ann Arbor, Michigan 48108
 Phone: 734.995.0200
 Fax: 734.995.0599

Ann Arbor State Bank

REVISIONS
 ISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 NOV 14
 REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & CONDITIONAL USE 06 JAN 15
 ISSUED FOR 2BA VARIANCES 20 FEB 15
 REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & CONDITIONAL USE 20 MAR 15
 REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & CONDITIONAL USE 08 JUNE 15
 ISSUED FOR FINAL SITE PLAN APP 27 JULY 15

JOB 2014-50
 DATE 06 JAN 15
 DRAWN TPH
 CHECKED BWB
 DETAIL SYMBOL

DETAIL NUMBER REFERENCE SHEET
 7
 ST1.3
 PITTSFIELD BRANCH



GENERAL NOTES

- SEE SHEET ST4.1 FOR GENERAL LANDSCAPE NOTES.
- SEE SHEET ST4.1 FOR PLANTING SCHEDULE AND DETAILS.
- STREET TREES TO BE PROVIDED AS REQ'D BY PITTSFIELD TOWNSHIP ORDINANCE, WITH LOCATIONS, AS REQUIRED BY TOWNSHIP PLANNING, TO BE COORDINATED WITH EXISTING EASEMENTS, UTILITIES, AND ROADWAYS.
- COORDINATE ALL WORK AFFECTING UTILITIES OR ACCESS AT OFFSITE DRIVES AND BUSINESSES PRIOR TO ANY CONSTRUCTION ACTIVITY AFFECTING THOSE AREAS.
- SEE GRADING PLAN FOR PROPOSED TOPOGRAPHY

TWP LANDSCAPE REQUIREMENTS

| | REQUIRED | PROVIDED |
|---|--------------------------|---|
| SITE LANDSCAPING: | | |
| 1 TREE PER 500 SQ. FT. OF LANDSCAPED AREA ALONG BUILDING EDGE | 2 TREES | 2 TREES |
| MIN 20% SITE AREA TO BE LANDSCAPED 57,900 SQ. FT. X 0.2 = 11,580 SQ. FT. | 11,580 SQ. FT. | 34,766 SQ. FT. |
| PARKING LOT LANDSCAPING: | | |
| 1 TREE PER 8 SPACES 15 SPACES / 8 = 2 | 2 TREES | 2 TREES |
| 1 TREE PER 40 LF OF PARKING LOT PERIMETER 285 LF / 40 = 8 | 8 TREES | 7 EXISTING TREES 2 NEW TREES 9 TOTAL TREES |
| PROVIDE INTERIOR LANDSCAPED AREA EQUAL TO 5% OF TOTAL PARKING LOT SURFACE AREA 5100 SQ. FT. X 0.05 = 255 SQ. FT. | 255 SQ. FT. | 800 SQ. FT. |
| GREENBELT: | | |
| 1 DECIDUOUS TREE PER 30 LINEAR FEET OF FRONTAGE ABUTTING R.O.W. 465 LINEAR FEET / 30 = 16 TREES | 16 TREES | 1 EXISTING TREE 16 NEW TREES 17 TOTAL TREES |
| SCREENING OF PARKING LOT | SCREENING OF PARKING LOT | VEGETATED SCREENING ALONG EAST EDGE |

LEGEND:

- NEW SITE LIGHT
- NEW BOLLARD LIGHT
- EXISTING SITE LIGHT
- NEW FIRE HYDRANT
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT-OF-WAY LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED GAS LINE
- PROPOSED SANITARY LEAD
- PROPOSED WATER MAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- PROPOSED NATIVE DECIDUOUS TREE
- PROPOSED NATIVE FLOWERING/ORNAMENTAL TREE
- PROPOSED NATIVE EVERGREEN TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED EVERGREEN SHRUBS
- MULCHED ANNUAL PLANTING BED (PLANTS TO BE PROVIDED BY OWNER)
- PROPOSED NATIVE GRASSES/SEDGES
- PROPOSED NATIVE WILDFLOWERS
- PROPOSED NATIVE GRASS - MOWED TRAIL

SITE TYPE B
ZONED FB FORM-BASED
(SPEEDWAY GAS STATION)

3 WORKING DAYS
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LANDSCAPE PLAN

MCI JOB#: 14118

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| ISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 NOV 14 |
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| REVISED AND REISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 FEB 15 |
| REVISED AND REISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 MAR 15 |
| REVISED AND REISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES | 20 JUN 15 |
| ISSUED FOR FINAL SITE PLAN APP | 22 JULY 15 |

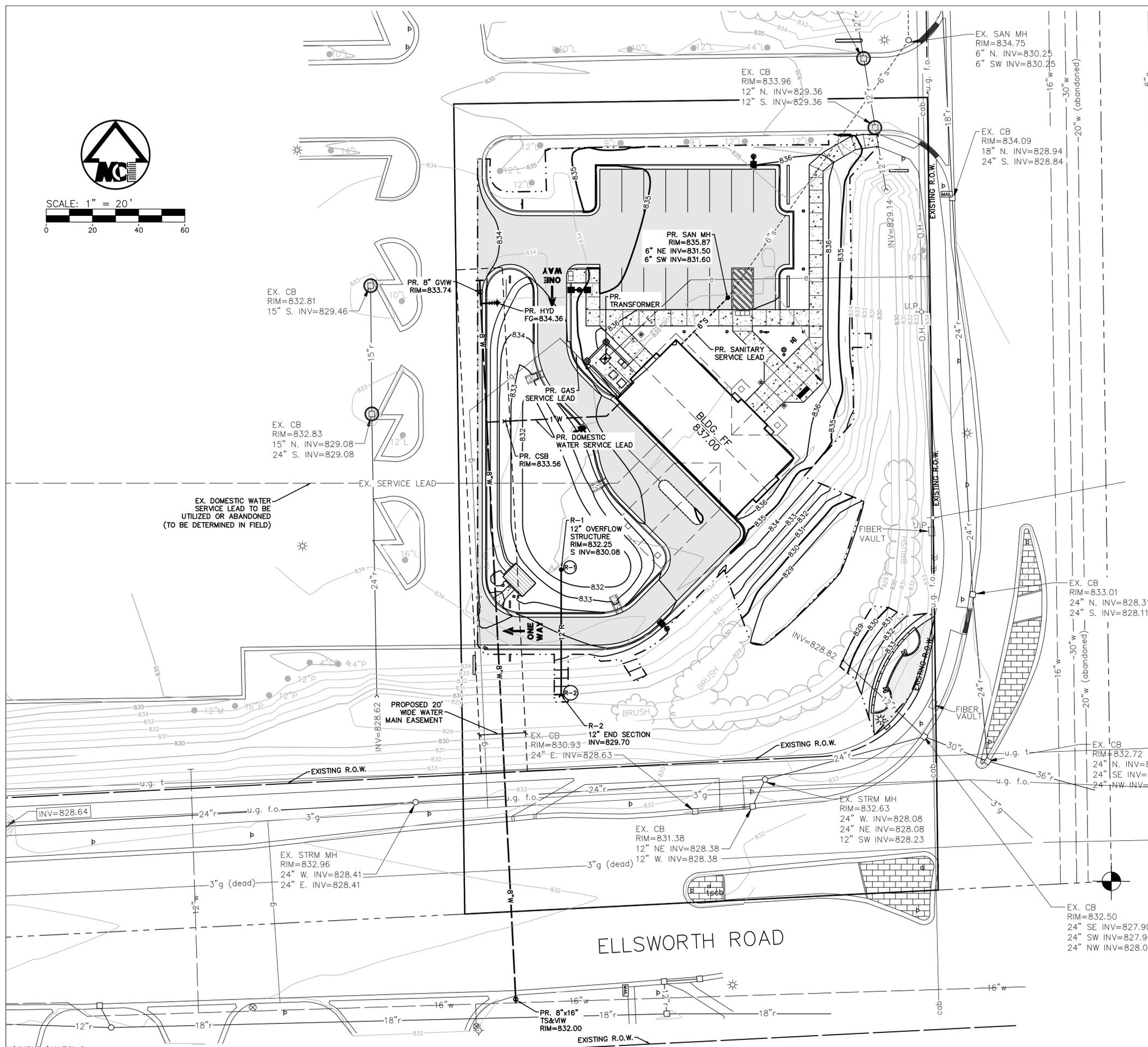
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|---------------|-----------|
| JOB | 2014-50 |
| DATE | 20 NOV 14 |
| DRAWN | TRF |
| CHECKED | RW |
| DETAIL SYMBOL | |

DETAIL NUMBER
REFERENCE SHEET

8
ST1.4
PITTSFIELD BRANCH



SCALE: 1" = 20'
0 20 40 60



LEGEND

- cob- f.o.- EXIST. CABLE OR FIBER OPTIC LINE
- w- EXIST. WATER MAIN
- h- EXIST. HYDRANT
- g- EXIST. GATE VALVE IN BOX
- g- EXIST. GATE VALVE IN WELL
- r- EXIST. STORM SEWER, MANHOLE
- s- EXIST. CATCH BASIN OR INLET
- s- EXIST. SANITARY SEWER
- s- EXIST. TELEPHONE RISER
- s- EXIST. SINGLE TREE
- g- PROPOSED GAS LINE
- e- PROPOSED UNDERGROUND ELECTRIC
- s- PROPOSED SANITARY LEAD, MANHOLE
- r- PROPOSED STORM SEWER, MANHOLE
- w- PROPOSED WATER MAIN, HYDRANT, VALVE
- p- PROPOSED NEW BITUMINOUS PAVEMENT
- c- PROPOSED CONCRETE SIDEWALK
- s- PROPOSED CONCRETE SPILLWAY

NOTES

1. FRANCHISE UTILITY DESIGNS TO BE UPDATED BY DTE, PHONE COMPANY, AND CONSUMERS ENERGY PLANNERS IF NECESSARY.
2. ANN ARBOR STATE BANK DOES NOT PROPOSE TO USE, PROCESS, OR HANDLE ANY HAZARDOUS MATERIALS OR CHEMICALS.



MIDWESTERN CONSULTING
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Fax: 734.965.0999

MCI JOB#: 14118

REVISIONS
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DATE 08 JUL 15
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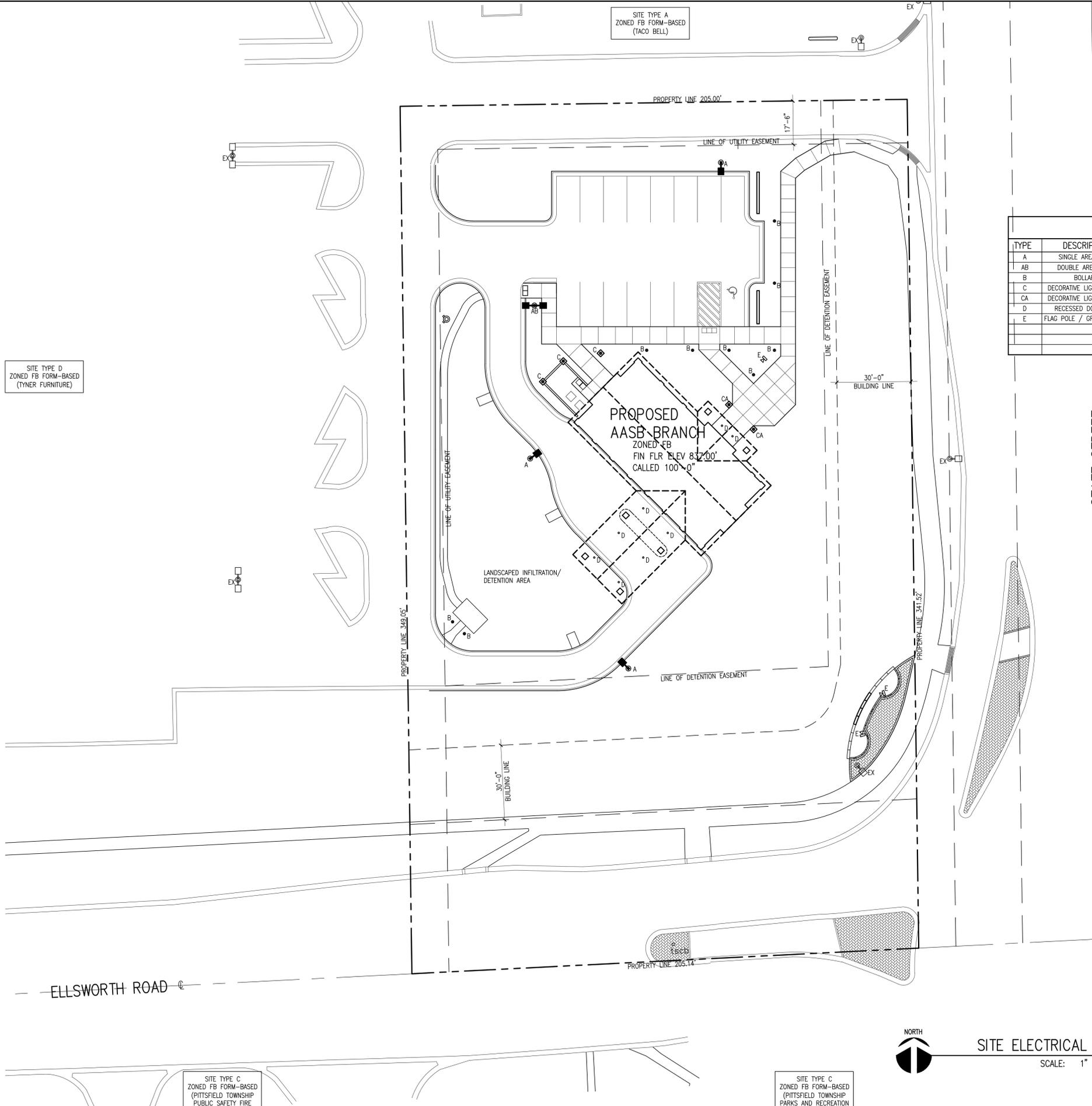
DETAIL NUMBER
REFERENCE SHEET

9
ST1.5
PITTSFIELD BRANCH



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UTILITY PLAN



SITE TYPE D
ZONED FB FORM-BASED
(TYNER FURNITURE)

SITE TYPE A
ZONED FB FORM-BASED
(TACO BELL)

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PUBLIC SAFETY FIRE
STATION NO.3)

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PARKS AND RECREATION
COMMUNITY CENTER)

SITE TYPE B
ZONED FB FORM-BASED
(SPEEDWAY GAS STATION)

GENERAL NOTES

| SITE LIGHT FIXTURE SCHEDULE | | | | | | |
|-----------------------------|--------------------------|--------------|-------------------------------|-------|-------------------------------|---------|
| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NO. | LAMPS | MOUNTING | REMARKS |
| A | SINGLE AREA LIGHT | LITHONIA | SEE PHOTOMETRIC - SHEET 19 | LED | 22.5 FT POLE, 1 @ 90' | |
| AB | DOUBLE AREA LIGHT | LITHONIA | | LED | 22.5 FT POLE, 2 @ 180' | |
| B | BOLLARD | LITHONIA | | LED | GROUND | |
| C | DECORATIVE LIGHT FIXTURE | SUN VALLEY | | LED | WALL MOUNTED, 6 FT BRICK PIER | |
| CA | DECORATIVE LIGHT FIXTURE | SUN VALLEY | | LED | WALL MOUNTED, 6 FT BRICK PIER | |
| D | RECESSED DOWNLIGHT | LITHONIA | | LED | RECESSED | |
| E | FLAG POLE / GROUND LIGHT | LITHONIA | | LED | GROUND | |

LEGEND:

- NEW SITE POLE LIGHT
- EXISTING SITE POLE LIGHT
- NEW BOLLARD LIGHT
- NEW DECORATIVE LIGHT
- NEW RECESSED DOWNLIGHT
- NEW FLAG POLE / GROUND LIGHT
- NEW FIRE HYDRANT
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT-OF-WAY LINE



SITE ELECTRICAL PLAN
SCALE: 1" = 20'-0"



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SITE ELECTRICAL PLAN

PITTSFIELD TWP.
BRANCH



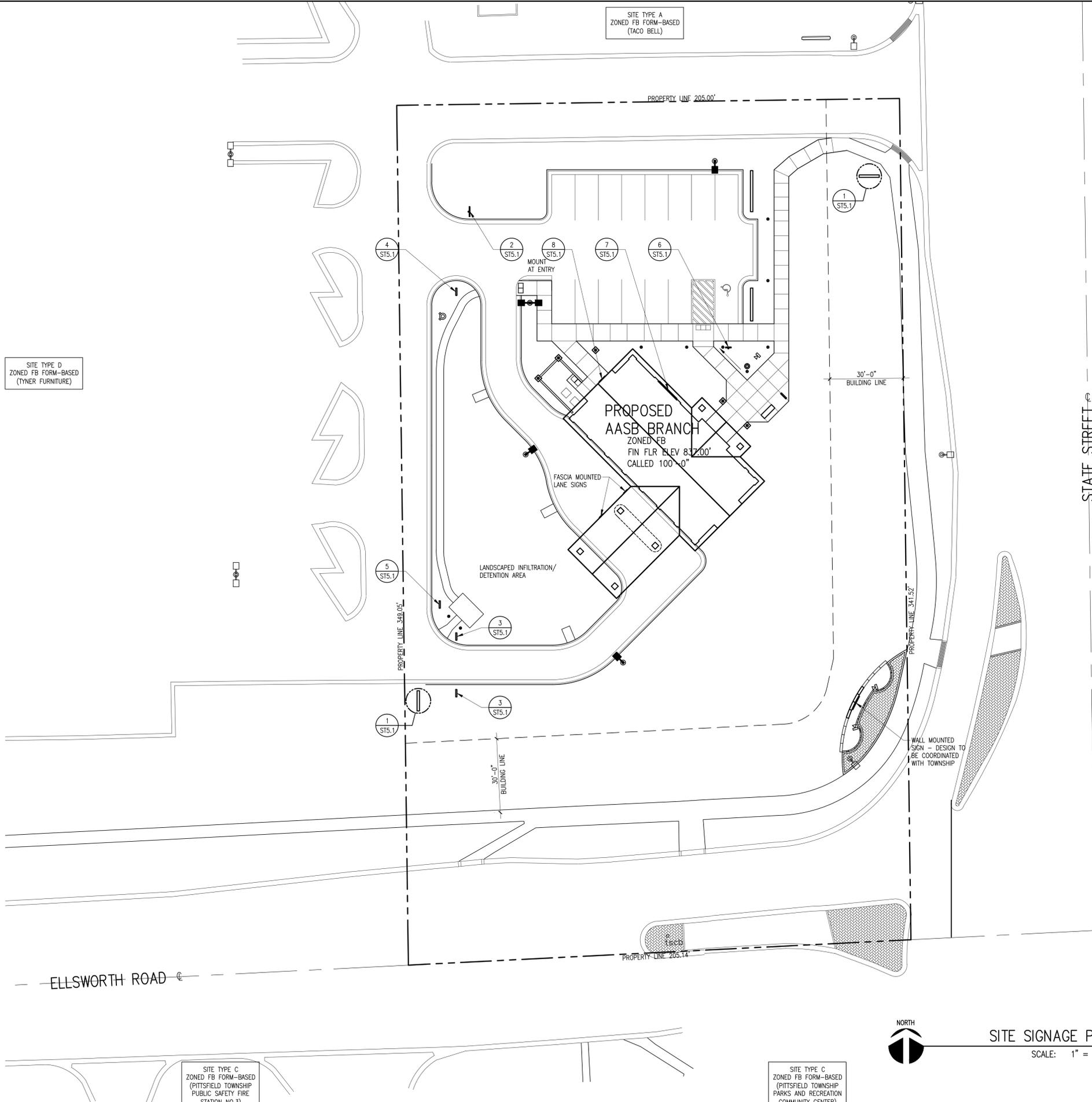
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Architects and Interior Designers
ARCHITECTS, L.L.C.
2080 South State Street, Ann Arbor, Michigan 48104 734-761-2090

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22 JUL 15

JOB 2014-50
DATE 22 JUL 15
DRAWN KMK
CHECKED GAM/SP
DETAIL SYMBOL

DETAIL NUMBER
REFERENCE SHEET

10
ST1.6
PITTSFIELD BRANCH



SITE TYPE D
ZONED FB FORM-BASED
(TYNER FURNITURE)

SITE TYPE A
ZONED FB FORM-BASED
(TACO BELL)

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PUBLIC SAFETY FIRE
STATION NO.3)

SITE TYPE C
ZONED FB FORM-BASED
(PITTSFIELD TOWNSHIP
PARKS AND RECREATION
COMMUNITY CENTER)

SITE TYPE B
ZONED FB FORM-BASED
(SPEEDWAY GAS STATION)

GENERAL NOTES

1. SEE SHEETS "ST5.X" SERIES DRAWINGS FOR SIGN DETAILS AND TYPICAL INSTALLATION NOTES. COORDINATE FINAL LOCATIONS WITH UNDERGROUND UTILITIES AND LANDSCAPE PLANS.
2. GENERAL CONTRACTOR SITE SIGNAGE AND OTHER CONTRACTORS TO CAREFULLY COORDINATE WITH OWNER'S SEPARATE BUILDING SIGNAGE CONTRACTOR FOR SCOPE AND INSTALLATION PER SIGN DETAIL SHEET.

CITY OF ANN ARBOR

SITE SIGNAGE PLAN

SCALE: 1" = 20'-0"



3 WORKING DAYS
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SITE SIGNAGE PLAN

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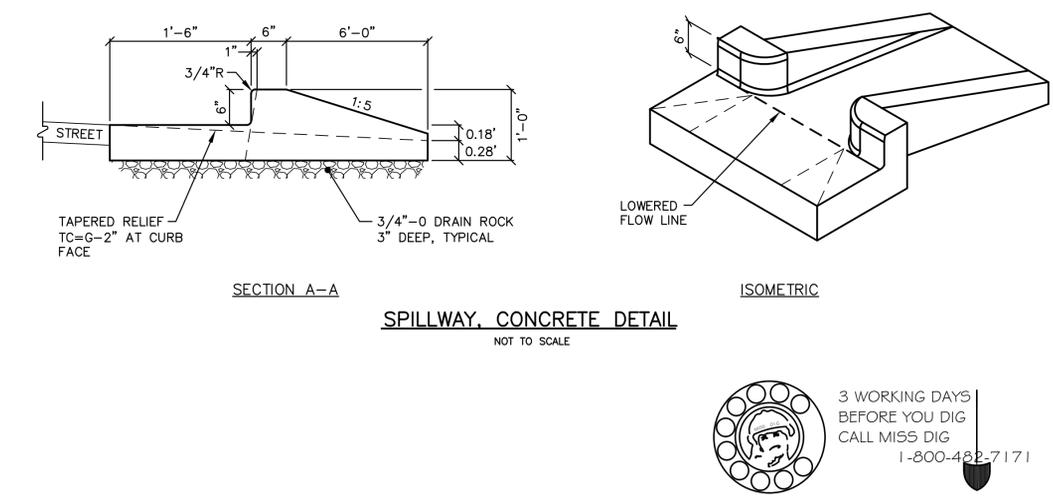
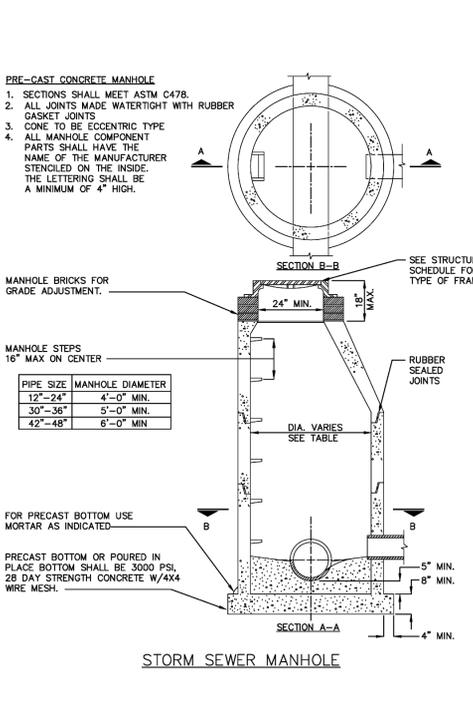
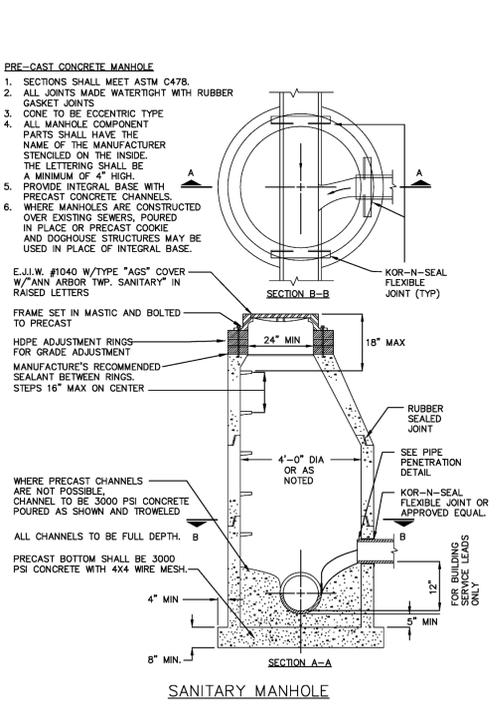
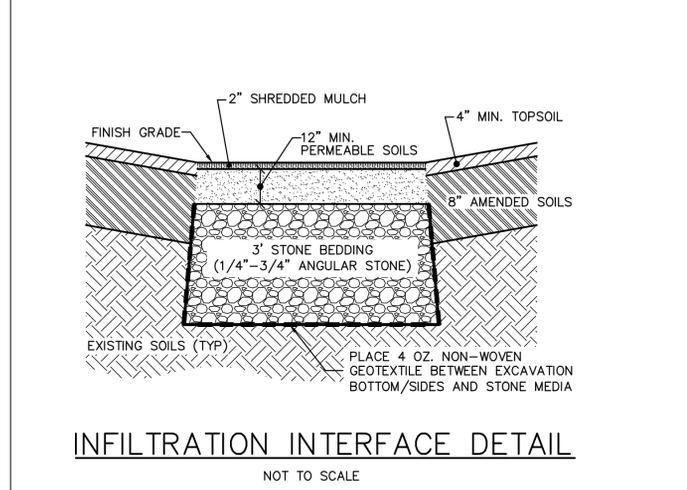
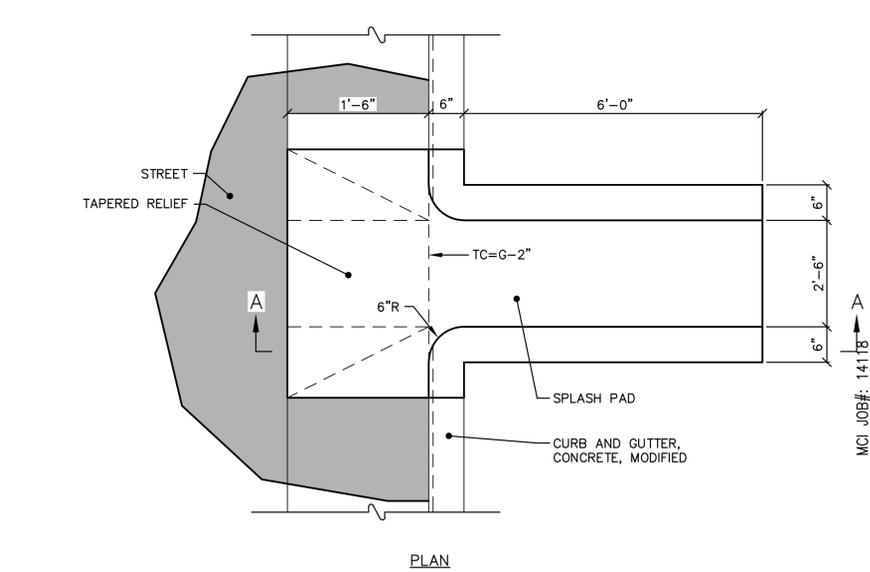
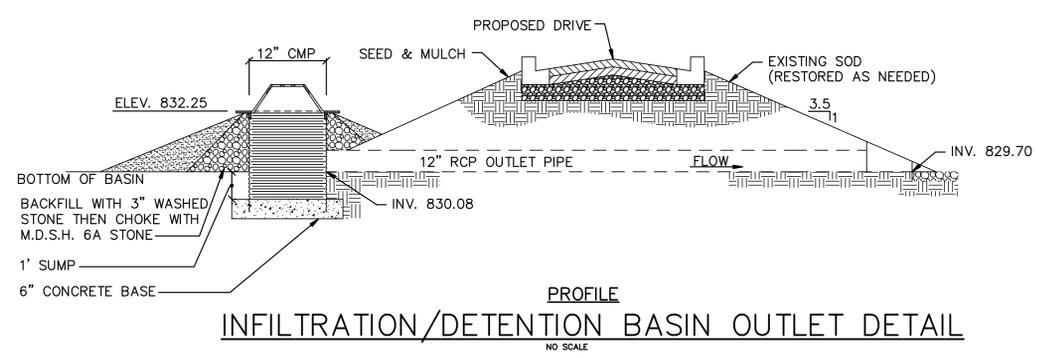
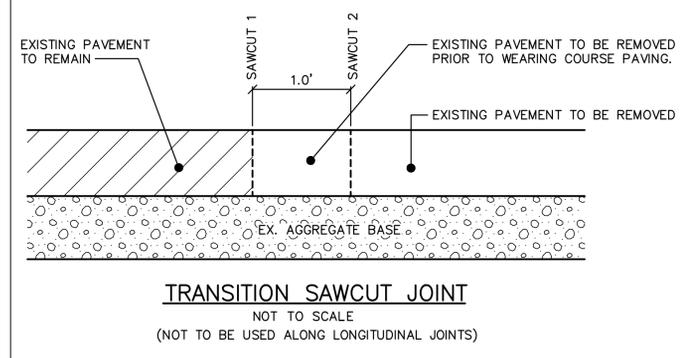
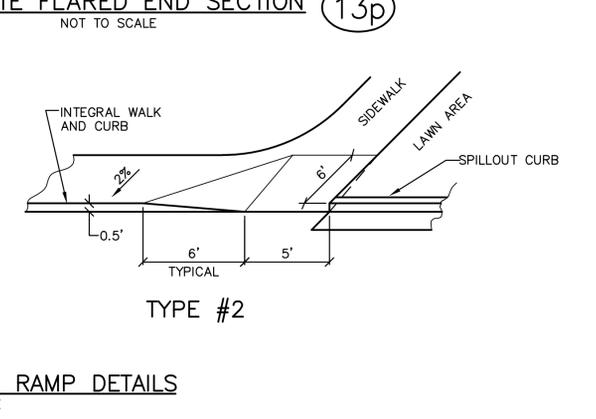
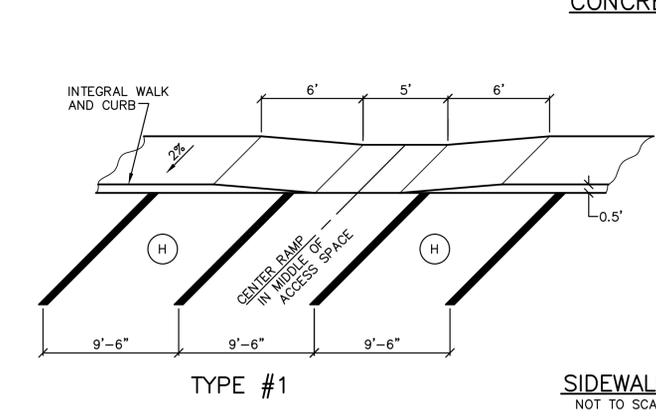
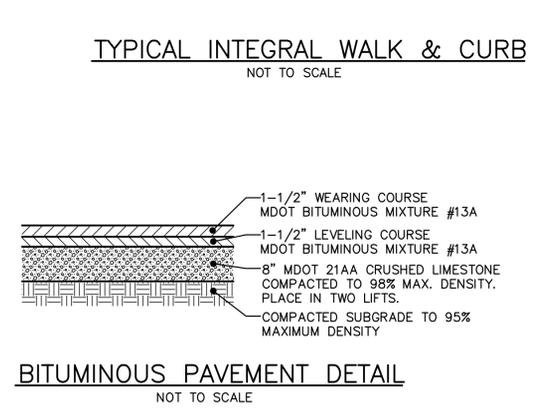
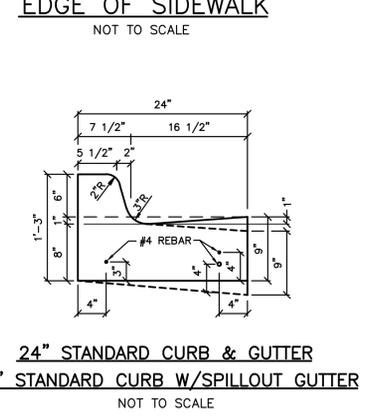
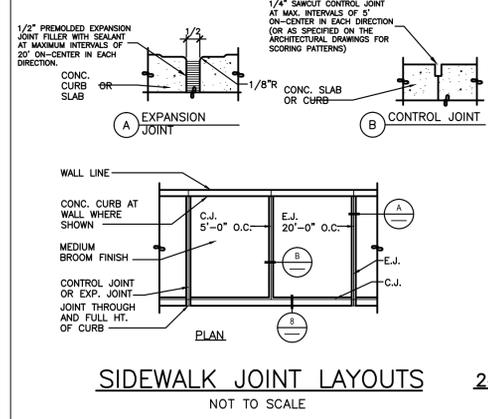
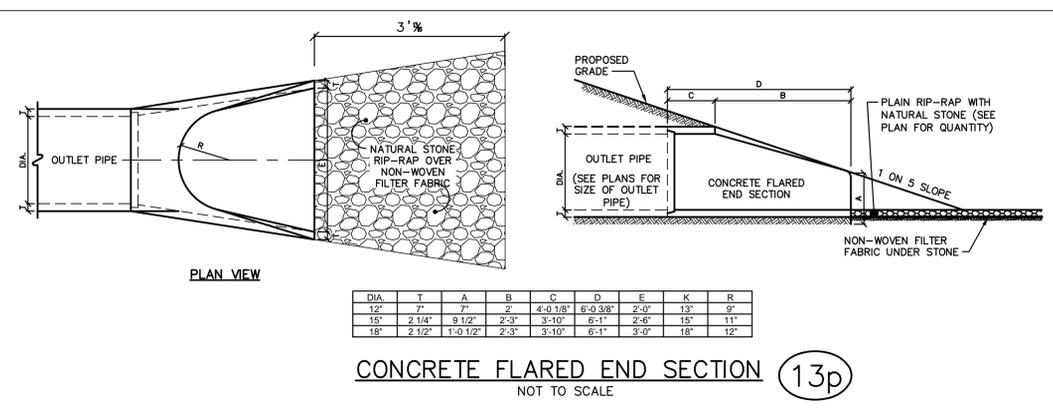
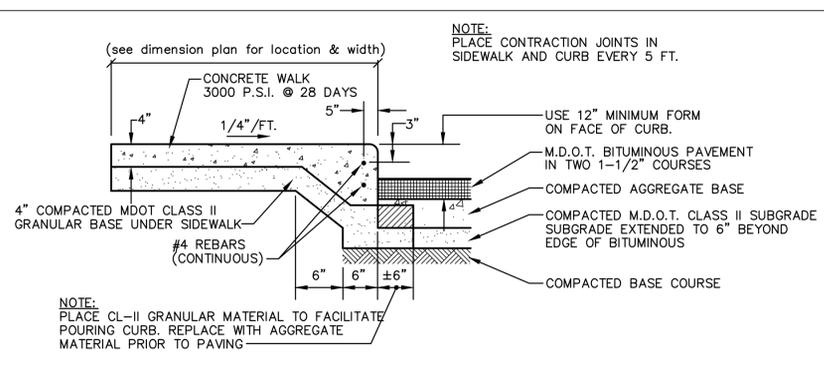
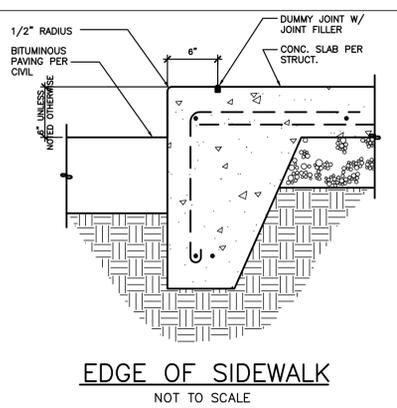
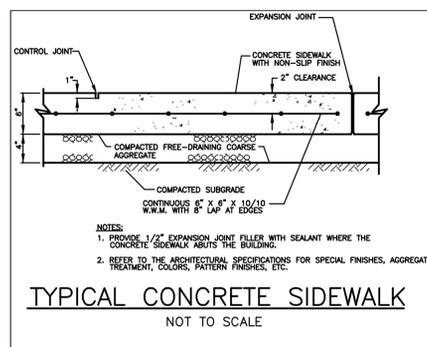
| REVISIONS | |
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| | |
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| JOB | 2014-50 |
| DATE | 22 JUL 15 |
| DRAWN | KMK |
| CHECKED | GAM/SP |

DETAIL SYMBOL



11
ST1.7
PITTSFIELD BRANCH



MIDWESTERN CONSULTING
Civil, Environmental and Transportation Engineers, Planners, Surveyors, Landscape Architects

3815 Plaza Drive
Ann Arbor, Michigan 48108
Phone: 734.965.0200
Fax: 734.965.0999

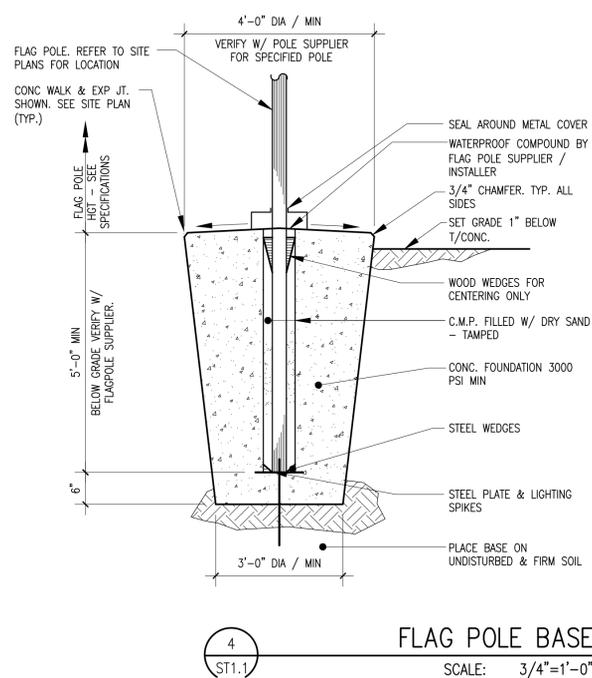
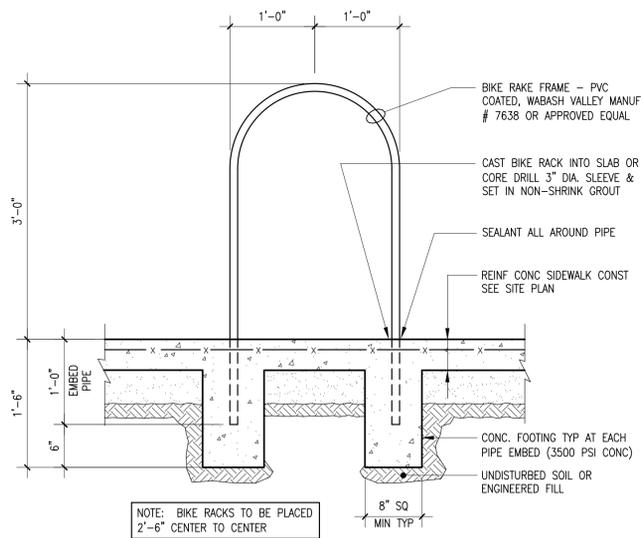
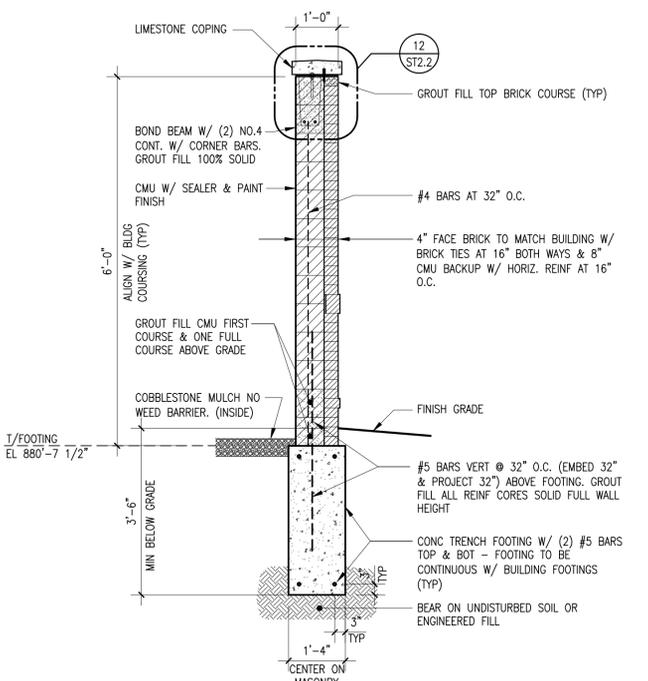
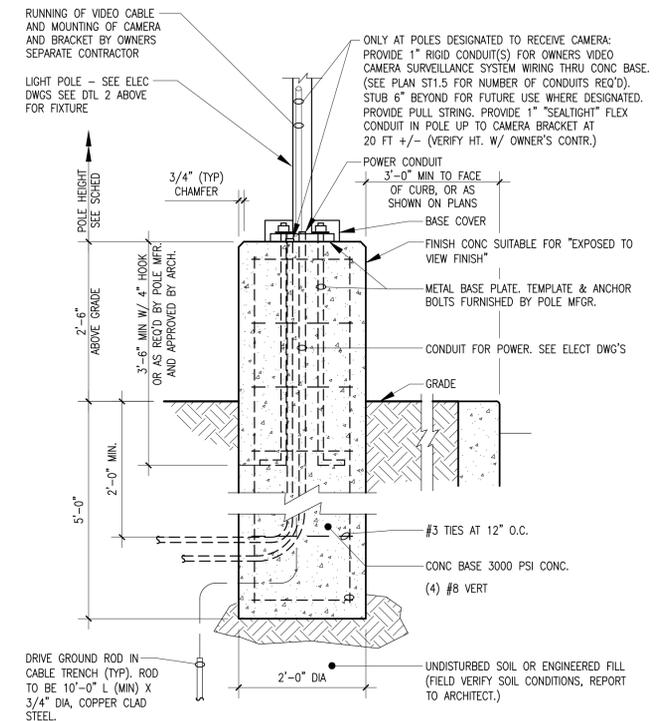
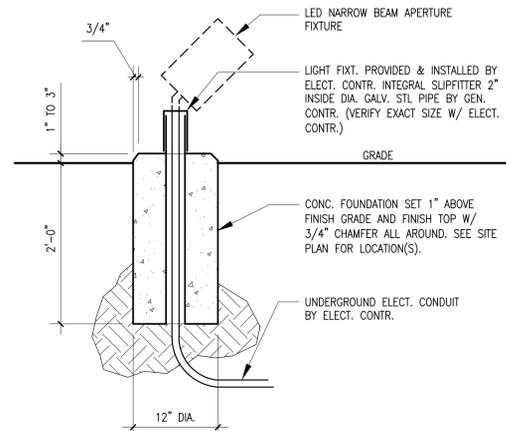
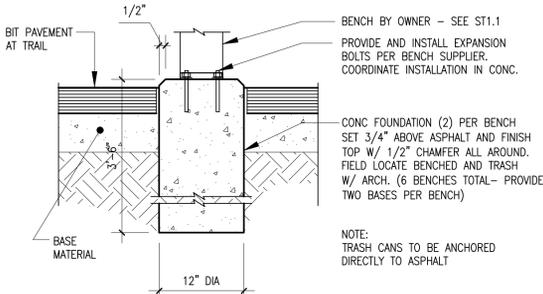
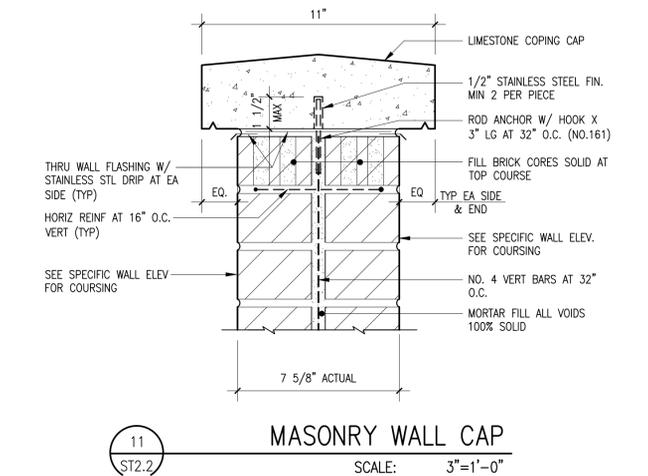
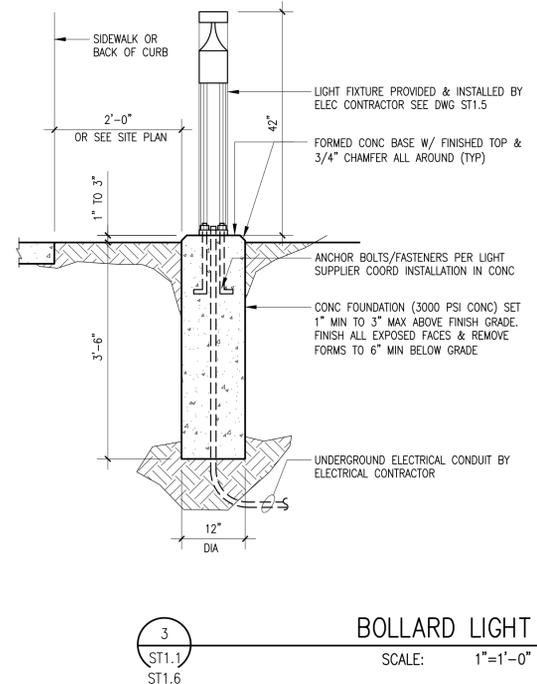
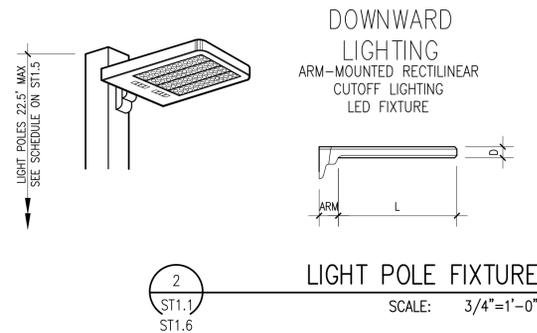
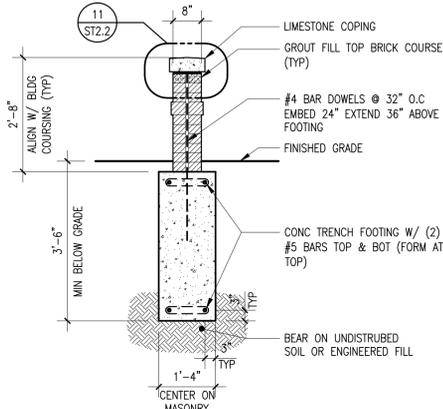
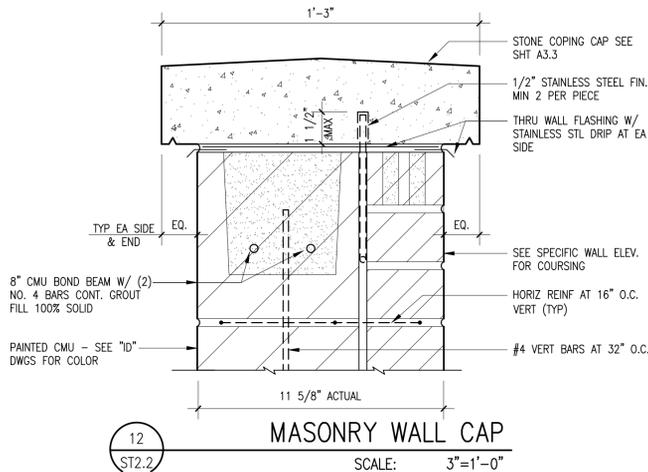
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REVISIONS
ISSUED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 NOV 14
REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 FEB 15
REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 MAR 15
ISSUED FOR 2DA VARIANCES 20 FEB 15
REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 MAR 15
REVISED AND RESUBMITTED FOR PRELIMINARY SITE PLAN APP & VARIANCES 20 MAR 15
ISSUED FOR FINAL SITE PLAN APP 22 JULY 15

JOB 2014-50
DATE 06 JAN 15
DRAWN TPH
CHECKED BWW
DETAIL SYMBOL

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

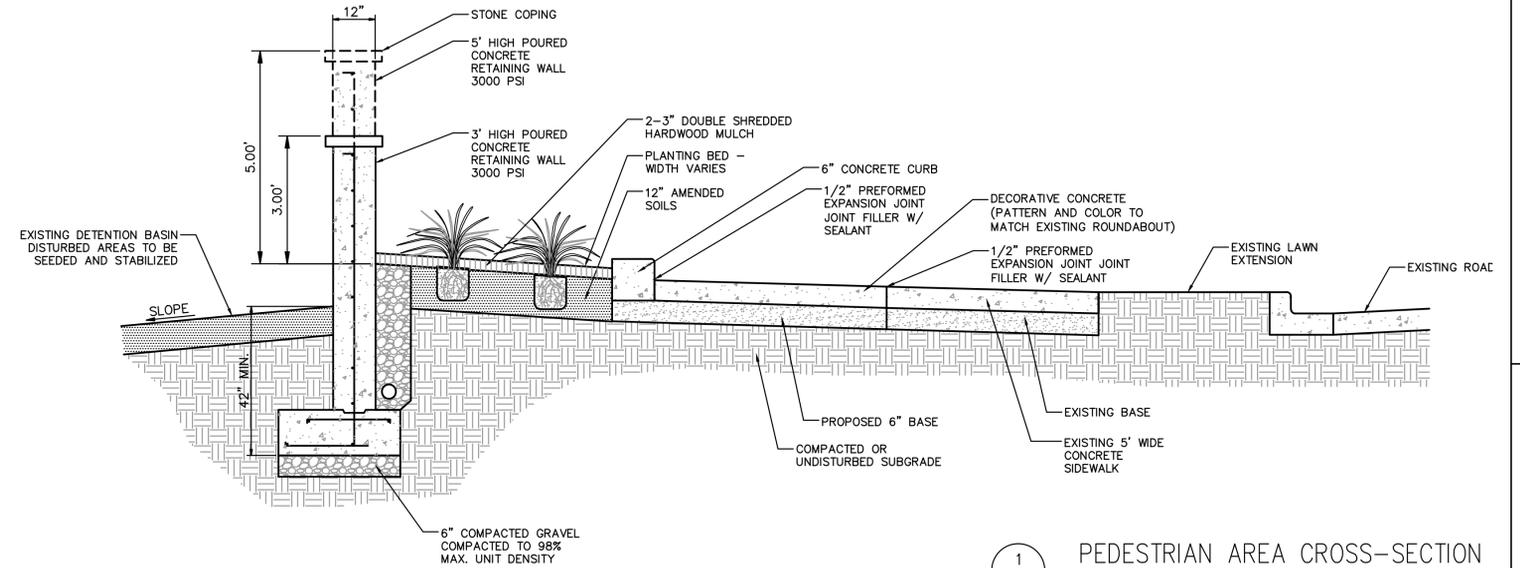
12
ST2.1
PITTSFIELD BRANCH



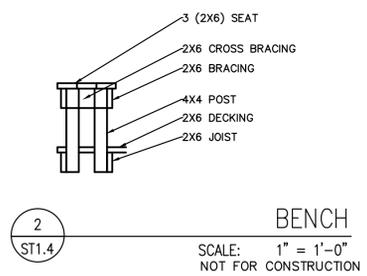
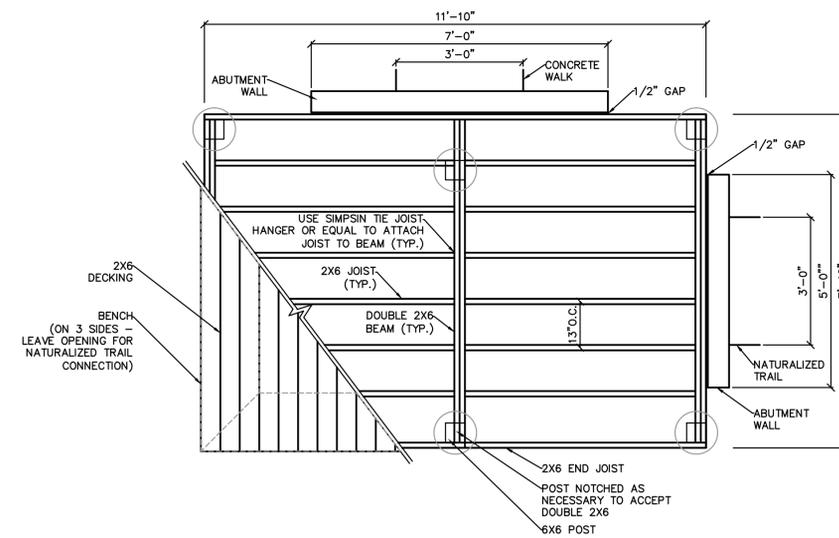
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| ISSUED FOR FINAL SITE PLAN APP | 22 JUL 15 |

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| JOB | 2014-50 |
| DATE | 20 NOV 14 |
| DRAWN | KMK |
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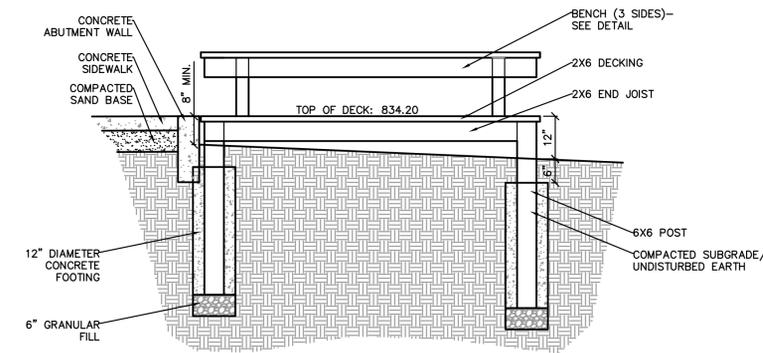
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| DETAIL SYMBOL | DETAIL NUMBER REFERENCE SHEET |
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1 PEDESTRIAN AREA CROSS-SECTION
 ST1.4 NOT FOR CONSTRUCTION SCALE: 1/4" = 1'-0"



2 BENCH
 ST1.4 SCALE: 1" = 1'-0"
 NOT FOR CONSTRUCTION



3 PEDESTRIAN OVERLOOK
 ST1.4 SCALE: 1/2" = 1'-0"
 NOT FOR CONSTRUCTION

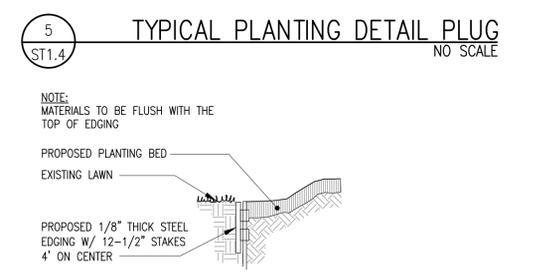
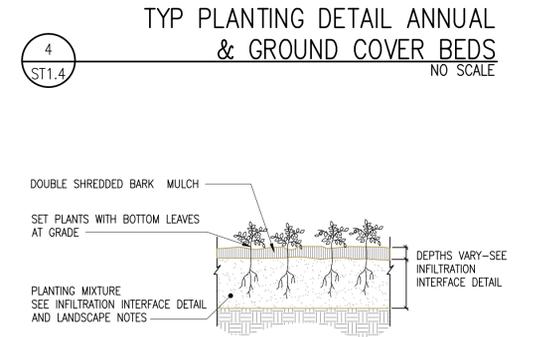
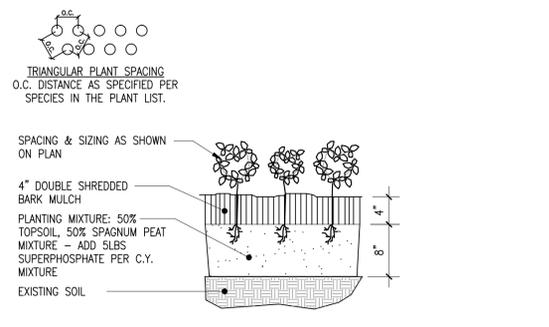
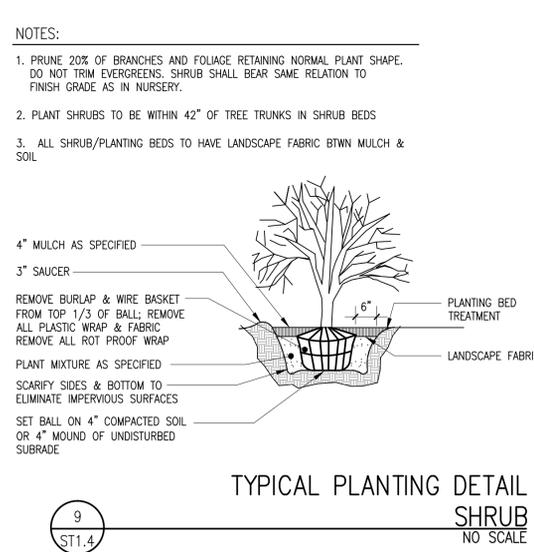
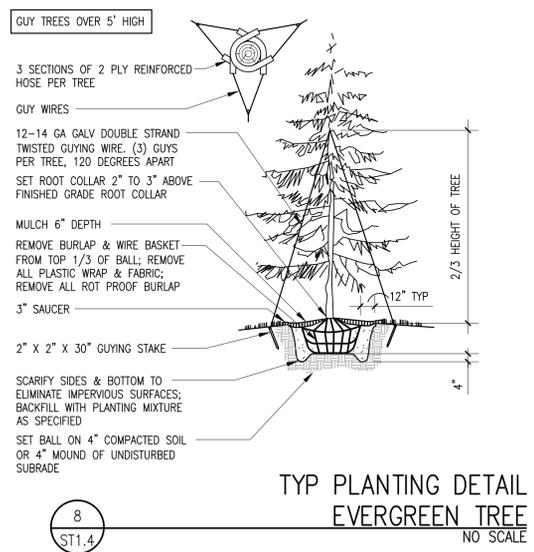
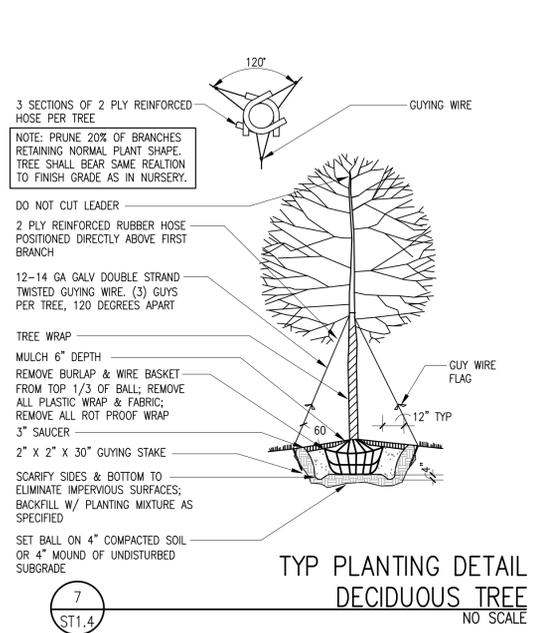
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SITE DETAILS

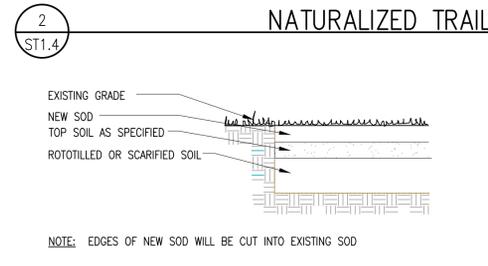
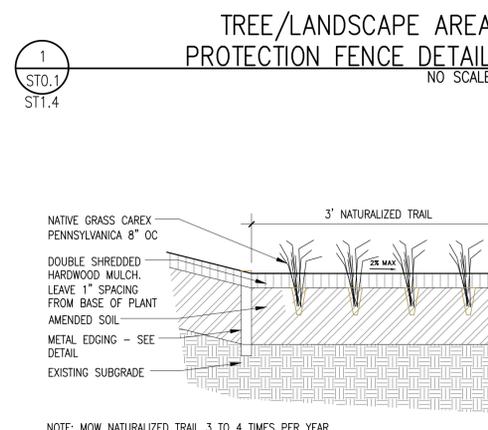
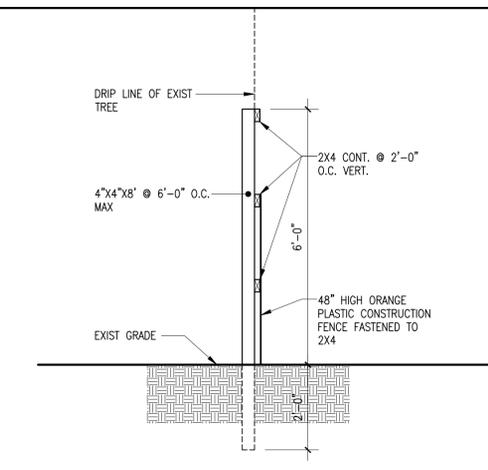
| REVISIONS |
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| ISSUED FOR FINAL SITE PLAN APP 22 JULY 15 |

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| JOB | 2014-50 |
| DATE | 20 NOV 14 |
| DRAWN | TRF |
| CHECKED | RW |

| | |
|-----------------|-------------------|
| DETAIL NUMBER | ST2.3 |
| REFERENCE SHEET | PITTSFIELD BRANCH |



| Qty | Code | Scientific Name | Common Name | Root | Size | Spacing | Notes |
|-------------------|-------|----------------------------------|------------------------------|---------------------|-----------|-----------|--------------------------|
| Trees | | | | | | | |
| 4 | AR | Acer rubrum 'Franksred' | Red Sunset Maple | B&B | 2" Cal. | As shown | Native cultivar |
| 8 | CO | Celtis occidentalis | Northern Hackberry | B&B | 2" Cal. | 20' o.c. | Native |
| 4 | Cca | Cercis Canadensis | Redbud | B&B | 2" Cal. | As shown | Native |
| 3 | PG | Picea glauca | White Spruce | B&B | 6" ht | 15' o.c. | Native, Full |
| 8 | TO | Thuja occidentalis 'Techny' | Arborvitae | #5 Cont | 5' ht | 4' o.c. | Native cultivar |
| 8 | TC | Tilia cordata 'Greenspire' | Greenspire Linden | B&B | 2" Cal. | 20' o.c. | Not native |
| Shrubs | | | | | | | |
| 8 | CA | Clethra alnifolia 'Crystallina' | Sugartina Summersweet | #5 Cont | 24" ht | 2.5' o.c. | Native cultivar |
| 13 | CS | Cornus stolonifera 'Farrow' | Arctic Fire Red Twig Dogwood | #5 Cont | 24-30" ht | 4' o.c. | Native cultivar |
| 16 | HQ | Hydrangea quercifolia 'Pee wee' | Pee Wee Oakleaf Hydrangea | #5 Cont | 24-36" ht | 6' o.c. | Native cultivar |
| 6 | lMcs | Ilex x meserveae 'Hachfee' | Castle Spire Blue Holly | #5 cont | 30-36" ht | 3' o.c. | Not native |
| 2 | lMcw | Ilex x meserveae 'Heckenstar' | Castle Wall Blue Holly | Cont | 42-48" ht | 5' o.c. | Not native |
| 3 | PO | Physocarpus opulifolius 'Seward' | Summer Wine Ninebark | #5 Cont | 36" ht | 6' o.c. | Native cultivar |
| 8 | SJ | Spiraea japonica 'Yan' | Double Play Gold Spirea | #5 cont | 18" ht | 2' o.c. | Not native |
| 22 | SM | Spiraea media 'Darsnorm' | Snowstorm Spirea | #5 Cont | 24" ht | 4' o.c. | Not native, white blooms |
| Grasses | | | | | | | |
| 28 | Trays | Carex pennsylvanica | Pennsylvania Sedge | 2" Pot - 32/tray | | 8" o.c. | Native |
| 57 | Flats | Carex vulpinoidea | Brown Fox Sedge | Plug (38 cell flat) | | 12" o.c. | Native |
| 117 | PV | Panicum virgatum 'Northwind' | Northwind Switchgrass | #1 Cont | | 30' o.c. | Native cultivar |
| 32 | PA | Pennisetum alopecuroides 'Hamel' | Hamel Dwarf Fountain Grass | #2 Pot | | 2.5' o.c. | Not Native |
| 11 | Flats | Sporobolus heterolepis | Prairie Dropseed | Plug (38 cell flat) | | 18" o.c. | Native |
| Perennials | | | | | | | |
| 15 | CV | Coreopsis verticillata 'Zagreb' | Zagreb Threadleaf Coreopsis | #1 pot | | 18" o.c. | Not Native |
| 15 | GS | Geranium sanguineum 'Alpenglow' | Alpenglow Geranium | #1 Pot | | 18" o.c. | Not Native |
| 10 | Flats | Liatris spicata | Marsh Blazing Star | Plug (38 cell flat) | | 18" o.c. | Native |
| 56 | LM | Liriope muscari 'Big Blue' | Big Blue Lily Turf | #1 Pot | | 16" o.c. | Not native |
| 10 | Flats | Veronicastrum virginicum | Culver's Root | Plug (38 cell flat) | | 18" o.c. | Native |

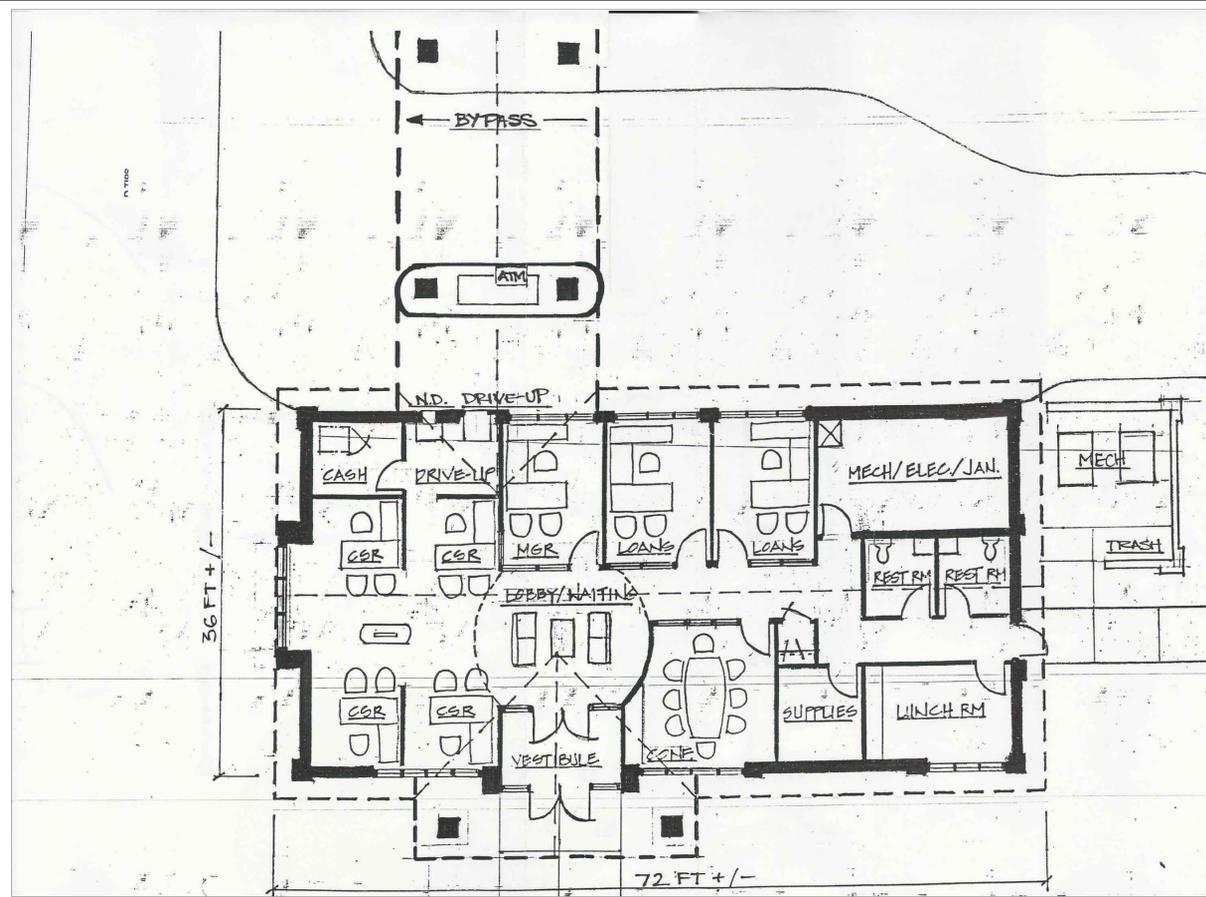


LANDSCAPE GENERAL NOTES

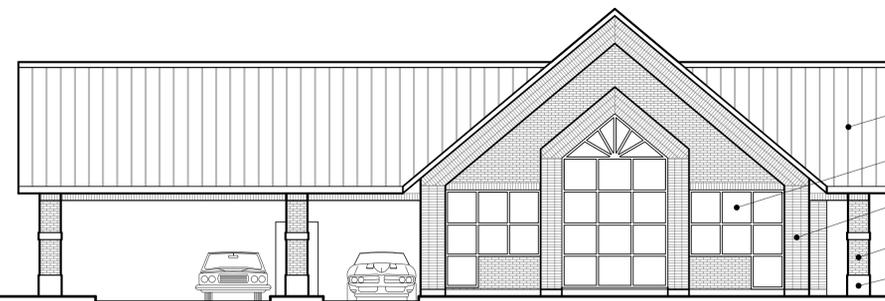
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ESTABLISHED PITTSFIELD TOWNSHIP STANDARDS AND IN ACCORDANCE WITH CURRENT AMERICAN ASSOCIATION OF NURSERYMEN INDUSTRY STANDARDS IN A NEAT, HEALTHY, AND WEED-FREE CONDITION AND SHALL HAVE PROOF OF ANY REQUIRED GOVERNMENTAL REGULATIONS AND/OR INSPECTIONS.
- ALL COMPACTED SUBGRADE SOILS IN PROPOSED LANDSCAPE AREAS SHALL BE TILLED TO A MINIMUM 12-INCH DEPTH PRIOR TO PLACEMENT OF TOPSOIL, GEOTEXTILE FABRIC, OR OTHER PLANTING MEDIA AS SPECIFIED.
- ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN AS PROPOSED PLANTINGS SHALL BE REPLACED BY THE END OF THE FOLLOWING GROWING SEASON AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE PLAN.
- ALL LANDSCAPING AND LANDSCAPE ELEMENTS SHALL BE PLANTED, AND EARTH MOVING OR GRADING PERFORMED, IN A SOUND WORKMANLIKE MANNER, ACCORDING TO ACCEPTED PLANTING AND GRADING PROCEDURE.
- SEE SHEET ST4.1 FOR PLANTING DETAILS.
- TREES ARE NOT TO BE PLANTED OVER OR WITHIN 10 FT OF ANY UNDERGROUND UTILITY WITHOUT APPROVAL. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES.
- PROVIDE CLEARANCE FOR ALL LANDSCAPING PLANTED ADJACENT TO PARKING AREAS TO ALLOW FOR VEHICULAR OVERHANGS AT CURBS. HOLD EDGE OF PLANTS MIN 24" FROM FACE OF CURBS.
- GUY AND STAKE ALL NEW TREES PER DETAILS.
- ALL DISTURBED AREAS NOT TO BE PAVED OR TREATED WITH PERENNIAL/SHRUB BED ARE TO BE SPREAD WITH 4" MINIMUM SCREENED TOPSOIL. FERTILIZED AND EITHER SODDED OR SEEDS AS NOTED.
- FERTILIZER FOR THE INITIAL INSTALLATION OF LAWNS SHALL PROVIDE NOT LESS THAN ONE (1) POUND OF ACTUAL NITROGEN PER 1,000 SQ. FT. OF LAWN AREA AND SHALL CONTAIN NOT LESS THAN TWO PERCENT (2%) POTASSIUM AND FOUR PERCENT (4%) PHOSPHORIC ACID. AFTER THE FIRST GROWING SEASON, ONLY FERTILIZERS THAT CONTAIN NO PHOSPHORUS SHALL BE USED ON THE SITE.
 - A. LAWN SEED MIX SHALL CONSIST AS FOLLOWS
 - A.A. 15% RUGBY KENTUCKY BLUEGRASS
 - A.B. 10% PARK KENTUCKY BLUEGRASS
 - A.C. 40% RUBY CREEPING RED FESCUE
 - A.D. 15% PENNIFINE PERENNIAL RYEGRASS
 - A.E. 20% SCALDIS HARD FESCUE
 - B. SEED SHALL BE APPLIED AT A RATE OF FIVE POUNDS (5 LBS) PER 1000 SQ. FT. MULCH WITHIN 24 HOURS WITH TWO (2) TONS OF STRAW PER ACRE, OR 71 BALES OF EXCELSIOR MULCH PER ACRE. ANCHOR STRAW MULCH WITH SPRAY COATING OF ADHESIVE MATERIAL APPLIED AT THE RATE OF 150 GALS. / ACRE.
- DECIDUOUS PLANTS SHALL BE PLANTED BETWEEN MARCH 1 AND MAY 15 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. EVERGREEN PLANTS SHALL BE PLANTED BETWEEN MARCH 1 AND JUNE 1 AND FROM AUGUST 15 AND SEPTEMBER 15.
- NATIVE PLUGS/#2 POTS SHALL BE PLANTED BETWEEN MARCH 1 AND MAY 15 AND SHALL BE ORDERED FROM A MICHIGAN NATIVE PLANT PRODUCERS ASSOCIATION MEMBER NURSERY (PREFERRED NURSERY - WILDTYPE DESIGN NATIVE PLANTS AND SEEDS, LTD., MASON, MI - 517-244-1140). CONTRACTOR SHALL CONTACT NURSERY EARLY IN CONSTRUCTION PROCESS TO ALLOW NECESSARY TIME FOR NURSERY TO GROW/STOCK APPROPRIATE QUANTITIES OF PLANTS.
- THE CONTRACTOR WILL CONFORM TO PART 91. SOIL AND SEDIMENTATION CONTROL 1994-PA451 AS AMENDED AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL. SEE ADDITIONAL NOTES ON SHEET ST1.2.
- ALL LANDSCAPE AREAS AND SODDED AND SEEDS LAWN AREAS, EXCEPT INFILTRATION BASIN, TO BE IRRIGATED BY UNDERGROUND IRRIGATION SYSTEM UNLESS NOTED OTHERWISE. IRRIGATION AT EAST AND SOUTH AREAS ADJACENT TO EXISTING DETENTION AREA ONLY TO BE IRRIGATED TO LIMITS OF NEW GRADING.
- ALL ANNUAL AND PERENNIAL PLANTING BEDS TO BE COVERED WITH 2-3" DOUBLE SHREDDED BARK MULCH. INFILTRATION AREA TO BE MULCHED WITH 2" SHREDDED BARK MULCH. ALL SHRUBS TO BE MULCHED WITH 4" MINIMUM SHREDDED BARK MULCH, SEE DETAILS.
- ALL SINGLE TRUNK, DECIDUOUS TREES SHALL HAVE A STRAIGHT AND A SYMMETRICAL CROWN WITH A CENTRAL LEADER. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE BRANCHED FULLY TO THE GROUND, SYMMETRICAL IN SHAPE, AND HAVE NOT BEEN SHEARED IN THE LAST THREE (3) GROWING SEASONS.
- AT ALL EXISTING "ON-SITE" TREES TO REMAIN IN SOD OR SEEDS LAWN AREAS, PROVIDE MINIMUM OF 6" OF MULCH ON WEED BARRIER AT 6'-0" RADIUS FROM TRUNK.
- COORDINATE ALL WORK WITH SOIL EROSION CONTROL MEASURES.
- MAINTAIN TREE PROTECTION FENCING AT ALL TREES AND LANDSCAPE AREAS SHOWN ON PLAN ON SITE. FENCING TO REMAIN UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. TREE PROTECTION TO BE SET AT "DRIP-LINE" OF ALL TREES.
- PLANTING SOIL: EXISTING, IN-PLACE OR STOCKPILED TOPSOIL. SUPPLEMENT WITH IMPORTED TOPSOIL AS NEEDED. VERIFY SUITABILITY OF EXISTING SURFACE SOIL TO PRODUCE VIABLE PLANTING SOIL. REMOVE STONES, ROOTS, PLANTS, SOD, CLOUDS, CLAY LUMPS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH. MIX SURFACE SOIL WITH THE FOLLOWING SOIL AMENDMENTS TO PRODUCE PLANTING SOIL:
 - A. RATIO OF LOOSE COMPOST TO TOPSOIL BY VOLUME: 1:4.
 - B. WEIGHT OF LIME PER 1000 SQ. FT.: AMEND WITH LIME ONLY ON RECOMMENDATION OF SOIL TEST TO ADJUST SOIL PH.
 - C. WEIGHT OF SULFUR OR ALUMINUM SULFATE PER 1,000 SQ. FT.: AMEND WITH SULFUR OR ALUMINUM SULFATE ONLY ON RECOMMENDATION OF SOIL TEST TO ADJUST SOIL PH.
 - D. VOLUME OF SAND: AMEND WITH SAND ONLY ON RECOMMENDATION OF LANDSCAPE ARCHITECT TO ADJUST SOIL TEXTURE.
 - E. WEIGHT OF SLOW-RELEASE FERTILIZER PER 1,000 SQ. FT.: AMEND WITH FERTILIZER ONLY ON RECOMMENDATION OF SOIL TEST TO ADJUST SOIL FERTILITY.
- PERMEABLE SOIL: PERMEABLE SOIL SHALL CONSIST OF 30% COMPOST MIXED WITH EXISTING, IN-PLACE OR STOCKPILED TOPSOIL. COMPOST SHALL BE PURCHASED FROM WEACRE ORGANICS OR EQUIVALENT APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE TESTING OF SUBSTITUTE COMPOST TO DETERMINE SUITABILITY. PERMEABLE SOIL SHALL MEET INFILTRATION REQUIREMENTS SET FORTH BY WASHTEENAW COUNTY WATER RESOURCES COMMISSIONER OFFICE.
- ANTICIPATED PLANTING TIMEFRAME IS SPRING 2016.

| Landscape Maintenance Schedule | | | | |
|---|--------|--------|--------|------|
| Maintenance Task | Winter | Spring | Summer | Fall |
| Perennial Beds | | | | |
| Prune trees, summer flowering shrubs, groundcover, and hedges | | | | |
| Press frost heaved perennials back into ground, remove dead leaves from evergreens | | | | |
| Fertilize Trees and Shrubs, planting beds; clean flower beds | | | | |
| Apply double shredded bark mulch to tree/shrub beds and ground leaf compost to flower beds | | | | |
| Pressurize irrigation system and perform spring audit | | | | |
| Aerate soil with fork hoe | | | | |
| Divide and replant summer and fall blooming perennials (when growth is 3-4in high), cut back if needed, Divide spring flowers after flowering | | | | |
| Install new plantings and replace dead/poor health perennials and grasses, add compost during planting, pinching perennials may be necessary | | | | |
| Water new transplants and newly planted trees and shrubs | | | | |
| Prune spring blooming shrubs immediately after flowering | | | | |
| Replace mulch as necessary | | | | |
| Weed flower beds routinely | | | | |
| Install summer annual flowers | | | | |
| Prune/pinch back perennials and grasses for height control and shaping | | | | |
| Inspect plants for pests and treat as necessary | | | | |
| Thin out perennial beds and prune plants, deadhead as needed | | | | |
| Water beds as needed | | | | |
| Prune perennials and shrubs to maintain spacing in bed | | | | |
| Divide and plant spring and summer flowering perennials | | | | |
| Add touch up mulch to planting beds | | | | |
| Rake leaves, mow or shred for composting | | | | |
| Clean up planting beds | | | | |
| Turn off irrigation system and flush out | | | | |
| Winter mulch tender plants once ground is frozen | | | | |
| Turfgrass Areas | | | | |
| Remove debris, apply pre-emergent crabgrass control herbicide to cool season turfgrass | | | | |
| Fertilize lawn | | | | |
| Pressurize irrigation system and perform spring audit | | | | |
| Aerate lawn as needed (every two years) | | | | |
| Inspect for grubs, treat as needed | | | | |
| Hand remove weeds, Spot application of herbicide if necessary | | | | |
| Weekly mowing of turfgrass (when reaches height of 2.5 to 3 in.), leave grass clippings, remove clumps | | | | |
| Bi-weekly edging of turfgrass | | | | |
| Deep water lawn areas (~1 inch per week) | | | | |
| Prepare and seed bare areas | | | | |
| Water newly seeded areas | | | | |
| Rake leaves or mow and leave for composting | | | | |
| Fertilize lawn | | | | |
| Turn off irrigation system and flush out | | | | |
| Routinely remove debris such as leaves, twigs, trash, etc. | | | | |

MIDWESTERN CONSULTING PITTSFIELD TWP. BRANCH
 15 ST4.1
 DANIELS AND ZERMACK ARCHITECTS, LLC.
 Architects and Interior Designers
 2080 South State Street, Ann Arbor, Michigan 48104 734-761-2090
 Ann Arbor State Bank
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5 CONCEPTUAL PLAN
SCALE: NO SCALE



4 SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0"

FACADE AREA TRANSPARENCY REQUIREMENT: 714 SQ.FT. X 50% = 357 SQ.FT. REQUIRED
TRANSPARENCY PROVIDED: 270 SQ.FT. (40.7%)
WALL DESIGN CREDIT: 178 SQ.FT. (25%)
TOTAL PROVIDED: 448 SQ.FT. (62.8%)



2 NORTHEAST ELEVATION
SCALE: 1/8"=1'-0"

FACADE AREA TRANSPARENCY REQUIREMENT: 916 SQ.FT. X 50% = 458 SQ.FT. REQUIRED
TRANSPARENCY PROVIDED: 373 SQ.FT. (40.7%)
WALL DESIGN CREDIT: 229 SQ.FT. (25%)
TOTAL PROVIDED: 602 SQ.FT. (65.7%)



3 NORTHWEST ELEVATION
SCALE: 1/8"=1'-0"



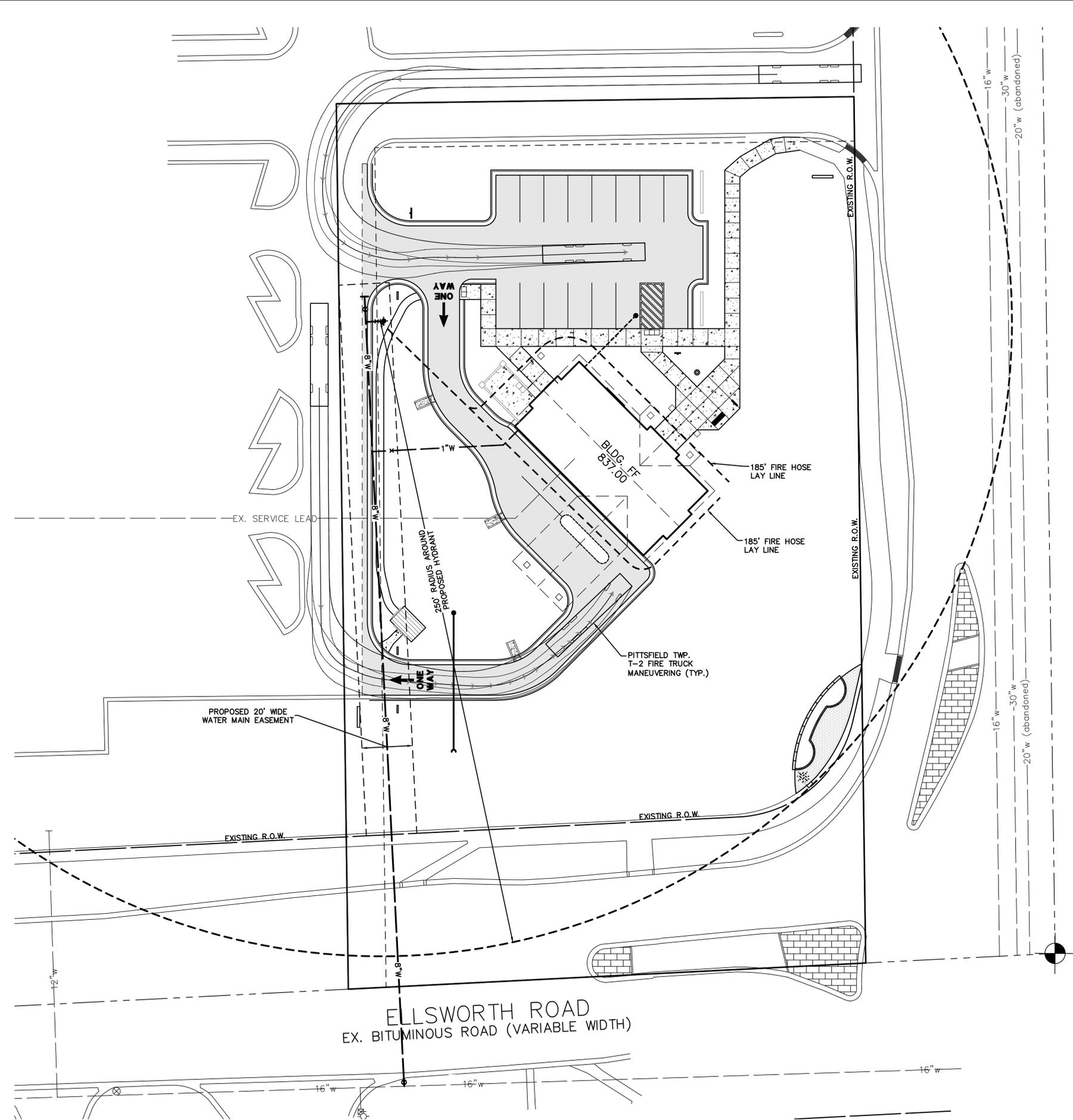
1 SOUTHWEST ELEVATION
SCALE: 1/8"=1'-0"

CONCEPTUAL FLOOR PLAN / EXTERIOR ELEVATIONS

| REVISIONS | |
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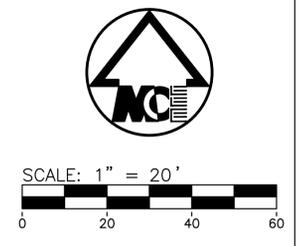
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| (Circled number 17) |

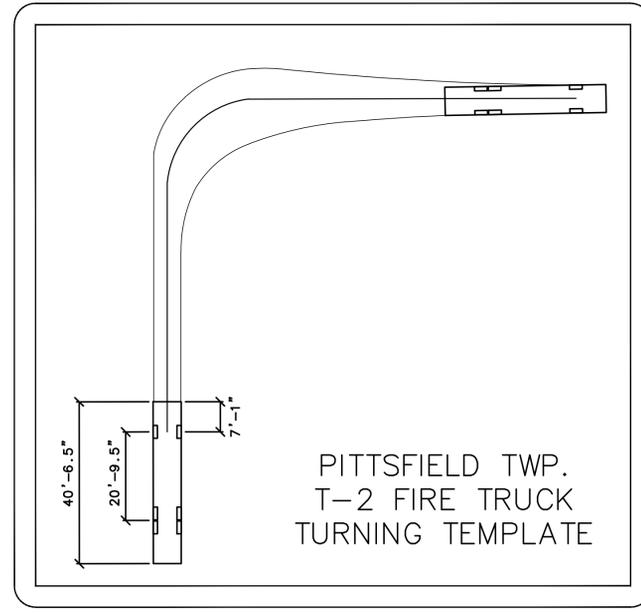


LEGEND

| | |
|----------------|-------------------------------------|
| — cab — f.o. — | EXIST. CABLE OR FIBER OPTIC LINE |
| — w — | EXIST. WATER MAIN |
| — h — | EXIST. HYDRANT |
| — g — | EXIST. GATE VALVE IN BOX |
| — r — | EXIST. GATE VALVE IN WELL |
| — s — | EXIST. STORM SEWER, MANHOLE |
| — c — | EXIST. CATCH BASIN OR INLET |
| — s — | EXIST. SANITARY SEWER |
| — t — | EXIST. TELEPHONE RISER |
| — s — | EXIST. SINGLE TREE |
| — g — | PROPOSED GAS LINE |
| — e — | PROPOSED UNDERGROUND ELECTRIC |
| — s — | PROPOSED SANITARY LEAD, MANHOLE |
| — r — | PROPOSED STORM SEWER, MANHOLE |
| — w — | PROPOSED WATER MAIN, HYDRANT, VALVE |
| [Pattern] | PROPOSED NEW BITUMINOUS PAVEMENT |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED CONCRETE SPILLWAY |



- PROPOSED BUILDING INFORMATION:**
- PROPOSED BUILDING USE:
BANK OFFICE/DRIVE UP BANKING & ATM
 - TWO INGRESS/EGRESS POINTS LOCATED ON THE NORTHWEST & NORTHEAST FACES
 - BUILDING HEIGHT:
18.5 FT AVG. HEIGHT
27 FT TO ROOF RIDGE



MIDWESTERN CONSULTING
 Civil, Environmental and Transportation Engineers
 Planners, Surveyors
 Landscape Architects
 3815 Plaza Drive
 Ann Arbor, Michigan 48108
 Phone: 734.995.0200
 Fax: 734.995.0999

MCI JOB#: 14118

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FIRE PROTECTION PLAN

DETAIL NUMBER REFERENCE SHEET
18
 F1.1
 PITTSFIELD BRANCH



| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-------|-----|---|--|------|--|----------|------|-------|
| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
| □ | A | 3 | LITHONIA #DSX0 LED 40C 1000 40K T4M MVOLT 22.5 FT POLE | DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T4M OPTIC, 4000K, @ 1000mA | LED | DSX0_LED_40 C_1000_40K_T 4M_MVOLT.ie | Absolute | 0.90 | 138 |
| □ | AB | 1 | LITHONIA #DSX0 LED 40C 1000 40K T4M MVOLT 22.5 FT POLE | DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T4M OPTIC, 4000K, @ 1000mA | LED | DSX0_LED_40 C_1000_40K_T 4M_MVOLT.ie | Absolute | 0.90 | 276 |
| ■ | B | 8 | LITHONIA #DSXB LED 16C 350 50K SYM | D-SERIES BOLLARD WITH 16 5000K LEDS OPERATED AT 350mA AND SYMMETRIC DISTRIBUTION | LED | DSXB_LED_16 C_350_50K_S YM.ies | Absolute | 0.90 | 20 |
| □ | C | 3 | SUN VALLEY #LCC18-CP-APA-V- 32LED-NW 350MA | LED DECORATIVE LUMINAIRE - TYPE 5 32LED-NW 350MA DISTRIBUTION | LED | LCC18-APA-5- 32LED-NW.ies | Absolute | 0.90 | 36 |
| □ | CA | 2 | SUN VALLEY #LCC18-CP-APA- IV-32LED 350MA | LED DECORATIVE LUMINAIRE - TYPE 3 32LED-NW 350MA DISTRIBUTION | LED | LCC18-APA-4- 32LED-NW.ies | Absolute | 0.90 | 36 |
| ○ | D | 8 | LITHONIA #LDN6 40/15 LOBAR | 1500LM 80CRI 4000K 6" LED COMMERCIAL DOWNLIGHT | LED | LDN6_40_15_L O6AR.ies | Absolute | 0.88 | 26 |
| □ | E | 3 | LITHONIA #DSXF1 LED 1 A530/40K MFL MVOLT | D-SERIES FLOOD SIZE 1 WITH 1 COB, 4000K, (MFL) DISTRIBUTION, NEMA TYPE 4HX4V | LED | DSXF1_LED_1 A530_40K_M FL_MVOLT.ies | Absolute | 0.90 | 21 |

| STATISTICS | | | | | | |
|-----------------------------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| DRIVE VALUES | X | 2.1 fc | 4.3 fc | 0.5 fc | 8.6:1 | 4.2:1 |
| LTG VALUES ON SIDEWALK | + | 3.8 fc | 10.0 fc | 0.6 fc | 16.7:1 | 6.3:1 |
| LTG VALUES UNDER CANOPY | + | 7.1 fc | 9.7 fc | 4.3 fc | 2.3:1 | 1.7:1 |
| OVERALL LTG VAUES | + | 0.4 fc | 8.1 fc | 0.0 fc | N/A | N/A |
| PARKING LOT VALUES | X | 1.9 fc | 4.1 fc | 0.9 fc | 4.6:1 | 2.1:1 |
| PROPERTY LINE @ 5' ABOVE GRADE | ■ | 0.1 fc | 0.5 fc | 0.0 fc | N/A | N/A |

| LUMINAIRE LOCATIONS | | | | | | |
|---------------------|-------|------------|-------|------|-------------|------|
| No. | Label | Location X | Y | MH | Orientation | Tilt |
| 1 | A | 2751.0 | 557.7 | 25.0 | -46.6 | 0.0 |
| 2 | A | 2790.3 | 759.2 | 25.0 | 180.0 | 0.0 |
| 3 | AB | 2714.8 | 701.6 | 25.0 | 90.0 | 0.0 |
| 4 | D | 2759.3 | 620.0 | 12.5 | 90.0 | 0.0 |
| 5 | D | 2768.9 | 610.0 | 12.5 | 90.0 | 0.0 |
| 6 | D | 2749.3 | 610.1 | 12.5 | 90.0 | 0.0 |
| 7 | D | 2759.3 | 600.2 | 12.5 | 90.0 | 0.0 |
| 8 | D | 2739.5 | 600.2 | 12.5 | 90.0 | 0.0 |
| 9 | D | 2749.3 | 590.3 | 12.5 | 90.0 | 0.0 |
| 10 | B | 2762.0 | 683.5 | 3.5 | 0.0 | 0.0 |
| 11 | B | 2777.4 | 683.8 | 3.5 | 0.0 | 0.0 |
| 12 | B | 2812.3 | 735.8 | 3.5 | 0.0 | 0.0 |
| 13 | B | 2812.2 | 710.7 | 3.5 | 0.0 | 0.0 |
| 14 | B | 2682.3 | 574.3 | 3.5 | 0.0 | 0.0 |

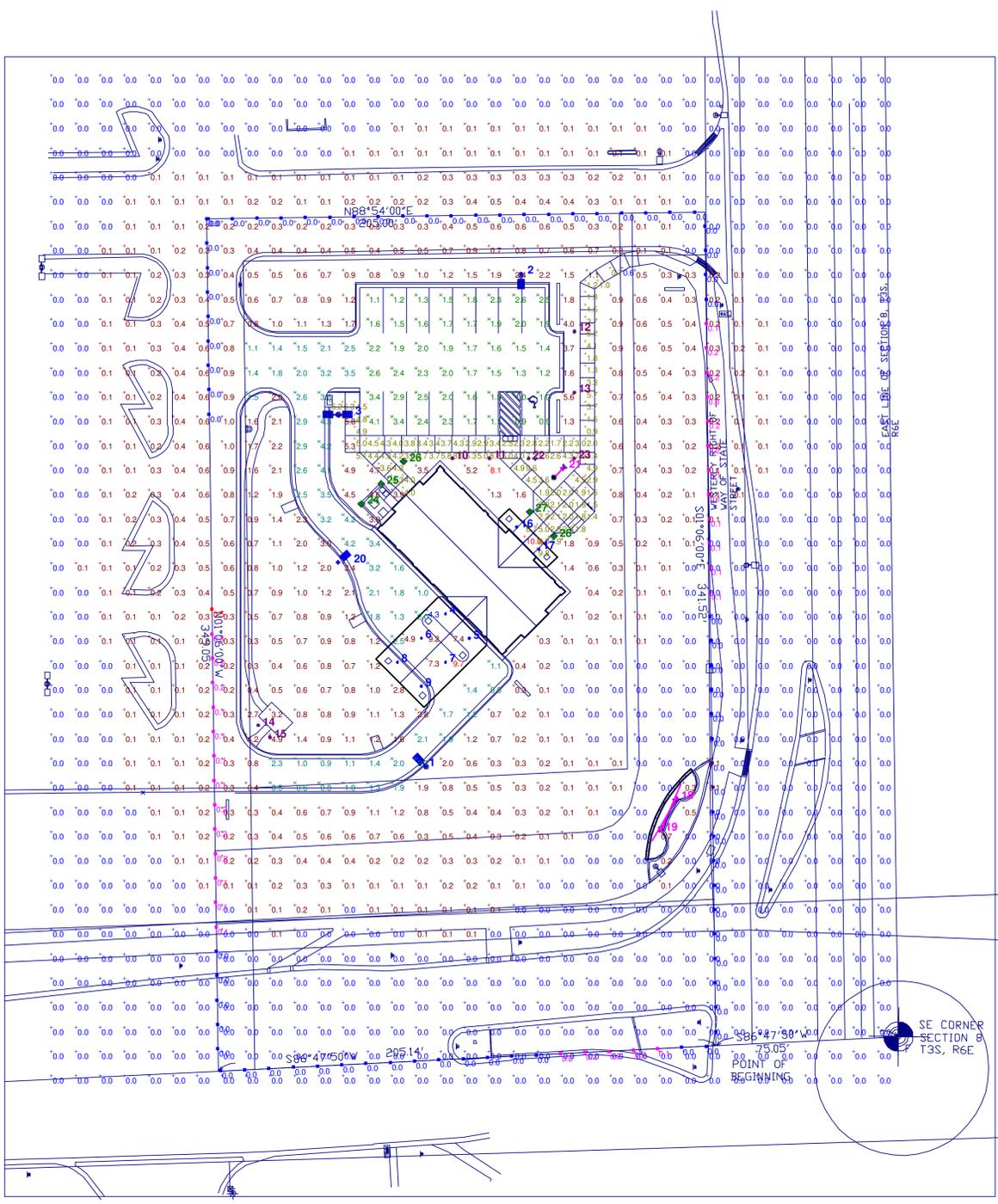
| LUMINAIRE LOCATIONS | | | | | | |
|---------------------|-------|------------|-------|------|-------------|-------|
| No. | Label | Location X | Y | MH | Orientation | Tilt |
| 15 | B | 2687.1 | 569.4 | 3.5 | 0.0 | 0.0 |
| 16 | D | 2788.5 | 655.6 | 12.5 | 0.0 | 0.0 |
| 17 | D | 2797.6 | 646.5 | 12.5 | 0.0 | 0.0 |
| 18 | E | 2854.1 | 544.2 | 1.0 | 209.6 | 98.0 |
| 19 | E | 2847.8 | 531.4 | 1.0 | 24.1 | 98.4 |
| 20 | A | 2715.0 | 641.1 | 25.0 | 49.2 | 0.0 |
| 21 | E | 2807.7 | 679.7 | 1.0 | 222.4 | 168.2 |
| 22 | B | 2793.3 | 683.5 | 3.5 | 0.0 | 0.0 |
| 23 | B | 2812.2 | 683.8 | 3.5 | 0.0 | 0.0 |
| 24 | C | 2724.6 | 665.0 | 10.0 | 45.0 | 0.0 |
| 25 | C | 2732.9 | 673.3 | 10.0 | 45.0 | 0.0 |
| 26 | C | 2742.0 | 682.4 | 10.0 | 45.0 | 0.0 |
| 27 | CA | 2793.9 | 661.7 | 10.0 | 45.0 | 0.0 |
| 28 | CA | 2803.8 | 651.7 | 10.0 | 45.0 | 0.0 |

NOTES

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE WITHIN THE SITE & 5' AFG AT PROPERTY LINE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



SITE LIGHTING VALUES
Scale 1" = 30'

ANN ARBOR STATE BANK
SITE LIGHTING PHOTOMETRIC VALUES
PREPARED FOR: DANIELS & ZERMACK
GASSER BUSH ASSOCIATES

Designer
RSS/KJS/JAB
Date
JULY 20 2015
Scale
AS NOTED
Drawing No.
#15-41725-V2