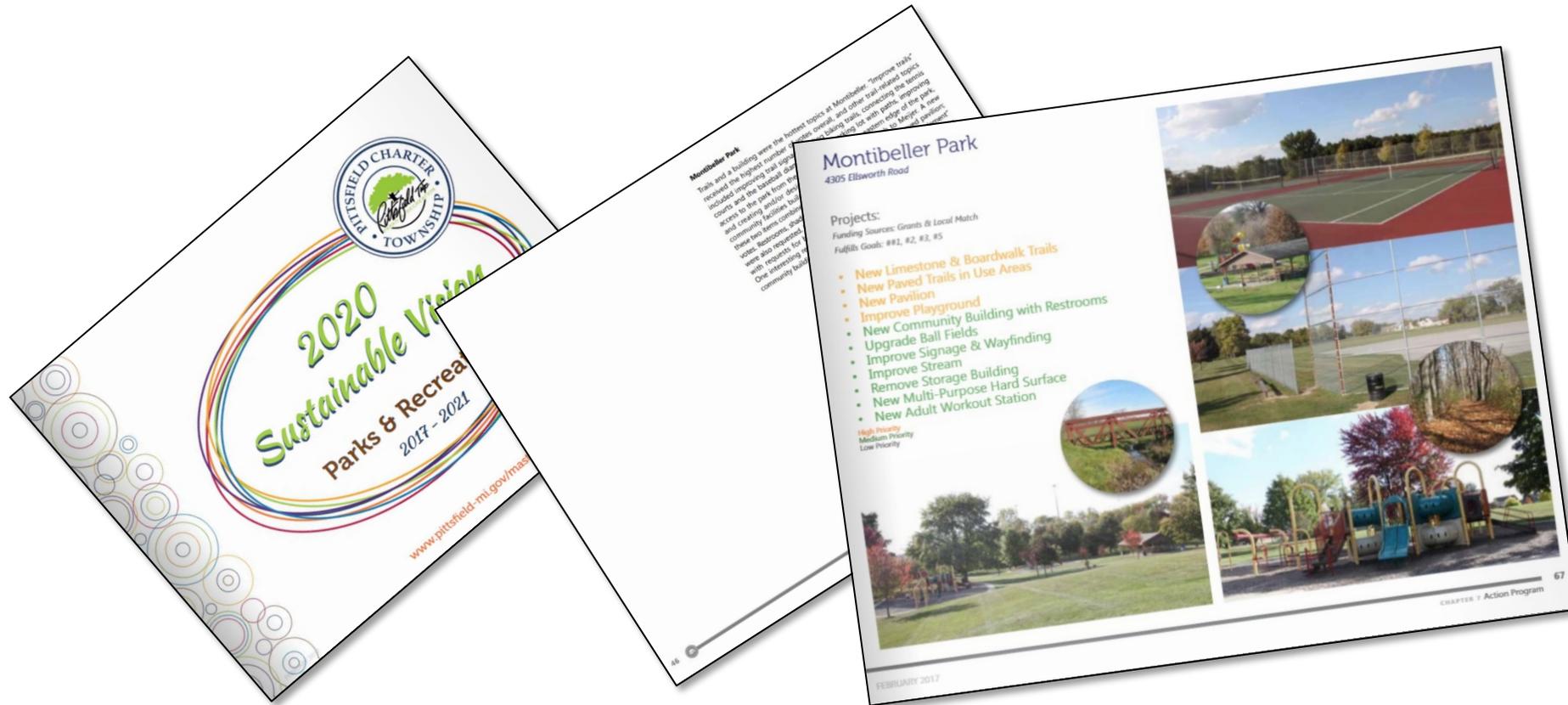


Montibeller Park Improvements

Pittsfield Township

1.6.20

Master Plan Review



Montibeller Park

Trails and a building were the hottest topics at Montibeller. "Improve trails" received the highest number of votes overall, and other trail-related topics included improving trail signage, adding biking trails, connecting the tennis courts and the baseball diamonds to the parking lot with paths, improving access to the park from the subdivisions along the eastern edge of the park, and creating and/or designating an official cut-through to Meijer. A new community facilities building was closely followed by an improved pavilion; these two items combined received 70% of the "single most important element" votes. Restrooms, shade trees, and picnic tables near but not under the pavilion were also requested. Lighting represented the only safety concern mentioned, with requests for better lighting both at the ballfields and on the paths. One interesting request called for a "bookmobile" type of setup at the new community building that would rent sports equipment or games to residents.

PER 2020 SUSTAINABLE VISION PLAN STATUS

High Priority:

- New limestone and boardwalk trails Install 2400 feet of 8' wide limestone path north-south through the park, as well as east-west lateral paths 5' wide. Connection to Meijer with pedestrian bridge to occur after Paint Creek improvements. No Boardwalk trails anticipated at this time
- New paved trails in use areas Install concrete sidewalks to shelter and adjacent parking
- New pavilion Construct 6,400 sf pavilion with restrooms
- Improve playground No improvements to existing playgrounds anticipated at this time

Medium Priority

- New community building with restrooms Community building not anticipated at this time; however, the new shelter building will include overhead rolled doors to enclose structure during uncomfortable weather
- Upgrade ball fields 2020 project includes budget to improve existing ball fields and area between home plate and tennis courts.
- Improve signage and wayfinding 'Arrival Point' included in 2020 project (see slide 8)
- Improve stream County-wide study underway to improve stream's water quality. Once complete, grants will be sought in implement recommendations in Montibeller Park.
- Remove storage building 2020 project includes removal of existing storage building and construction of a new one.
- New multi-purpose hard surface Existing tennis courts to be resurfaced in 2020
- New adult workout stations Not included at this time

2020 SUSTAINABLE VISION PLAN

Montibeller Park Concept Plan





Future path by others

Future walkway connection to Fieldcrest Ln. By Others.

100 Year Flood Plain
Long-cut turf within floodplain (mow once or twice a year).

12-Foot Wide Path with Benches
Limestone screens
Provides access to sanitary manholes

Target

Paint Creek Corridor
Potential opportunity to enhance the aesthetics of the Creek by adding native plants, naturalized bank stability measures, rain gardens, pools and ripples, while not affecting the Creek's hydraulics.

Long-cut Turf
mow once or twice a year

Tennis courts to be removed

5-foot wide Path
Limestone screens
connects neighborhood on east side of Park to Meyer

Existing pavilion to be removed

Proposed pavilion with restrooms and patio space

Enhanced Gravel Parking Lot

Pedestrian Connection to Park
Add a striped crosswalk to a potential future traffic signal at this location to connect the Park to the neighborhoods on the south side of Ellsworth Road.

5-Foot Wide Path
Limestone screens, connects north ball field to north-south path through Park

Provide ADA compliant connection to viewing area behind home plate

Existing Tennis Courts

Existing Walkway

Add concrete walks and hardscape to existing restroom building to create secondary event space

Storage Shed

Gravel Parking Lot provides overflow parking for pavilion events

Walkway between overflow parking and pavilion

Long-cut Turf mow once or twice a year

Access to gravel parking

Center Valley Dr.

International Transmission Co.

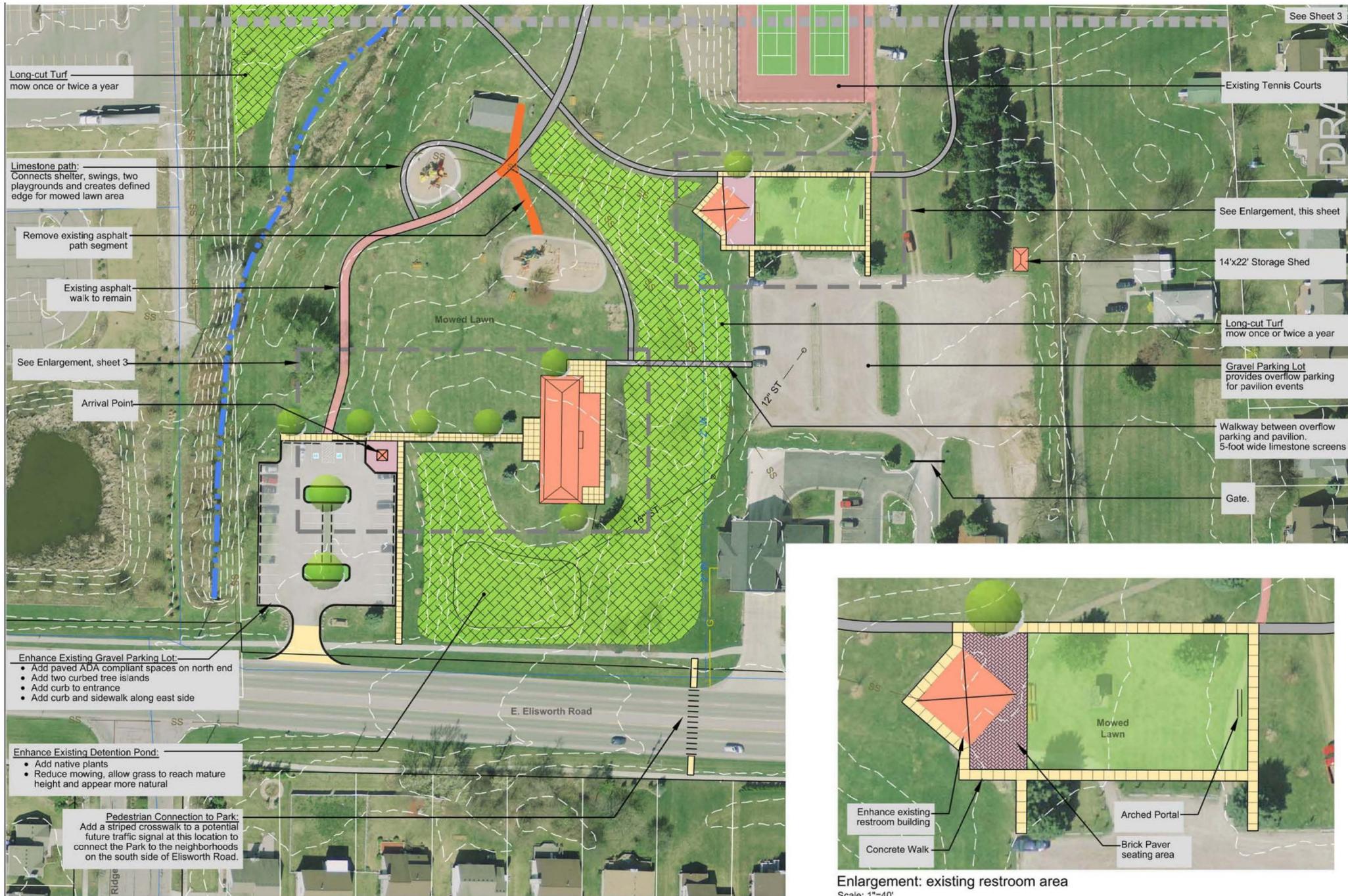
Paint Creek

Fieldcrest Ln.

Palladium Blvd

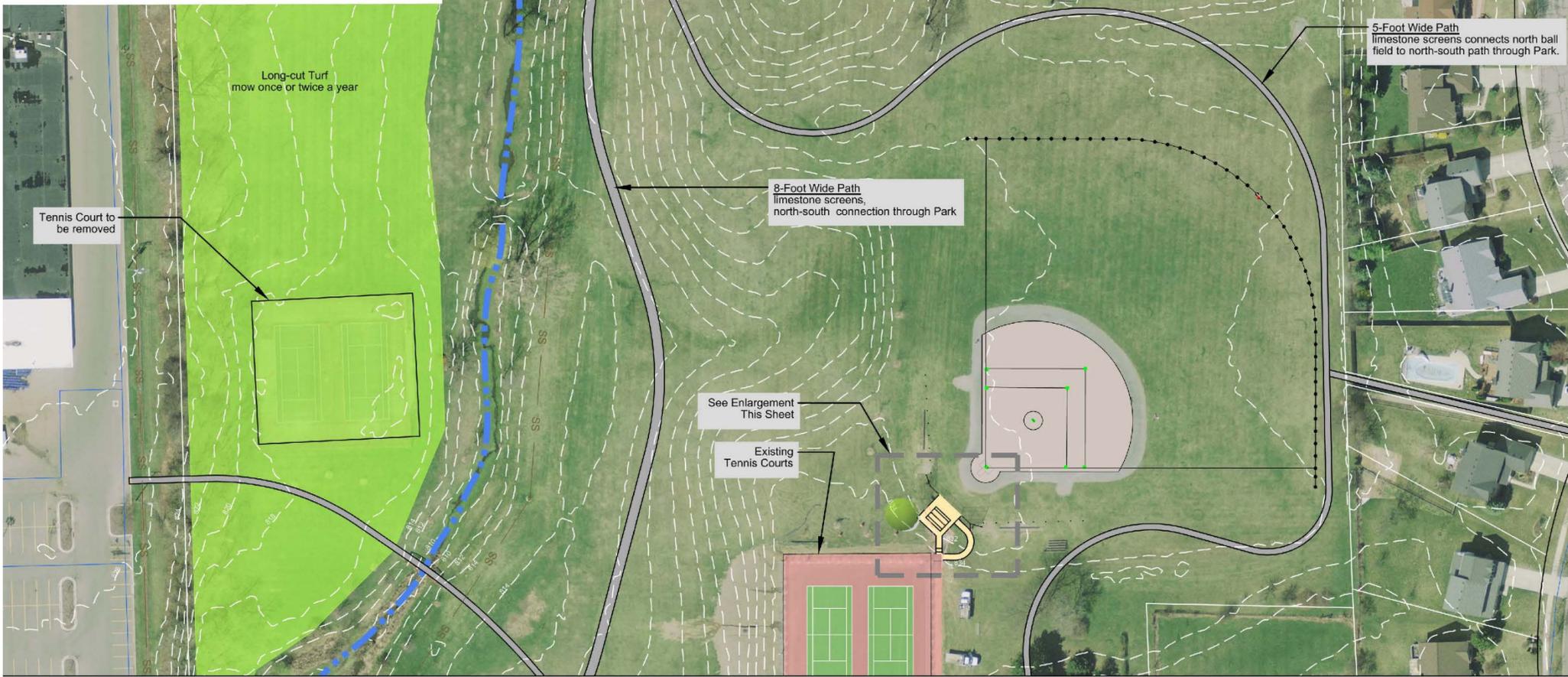
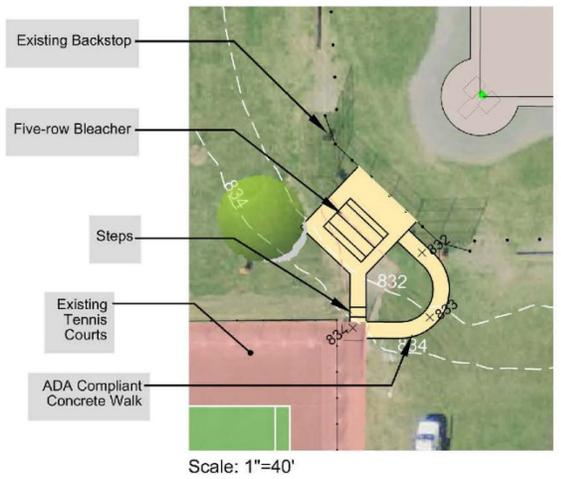
E. Ellsworth Road

Ridgewood Drive



Enlargement: existing restroom area
Scale: 1"=40'





Park Structure Precedents



Marsh View Park



Hickory Woods Park



Hickory Woods Park



Marsh View Park

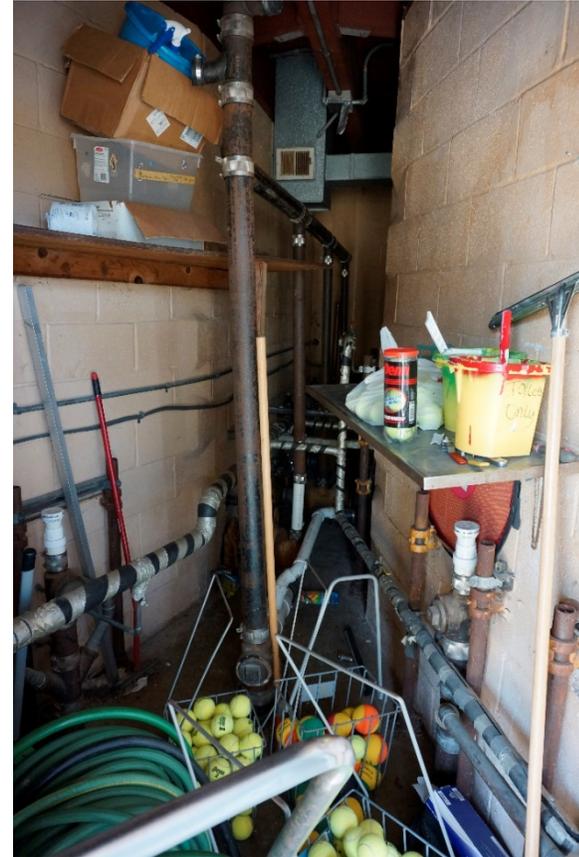


Marsh View Park

Elements

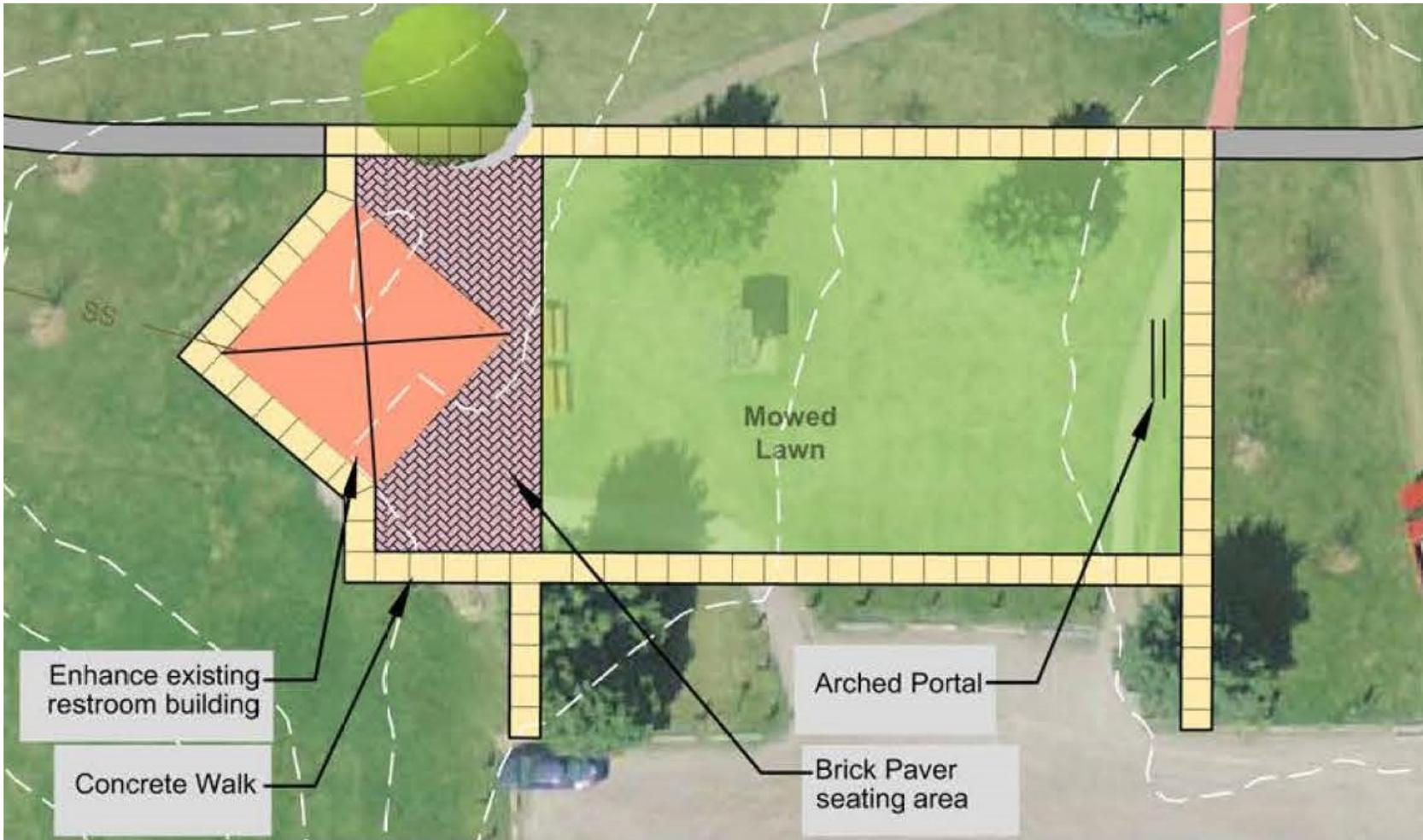
- Fieldstone or brick base
- Painted horizontal siding
- Timber columns
- Asphalt shingle roofing
- Roof lanterns, dormers
- Gable & hip roof styles

Restrooms



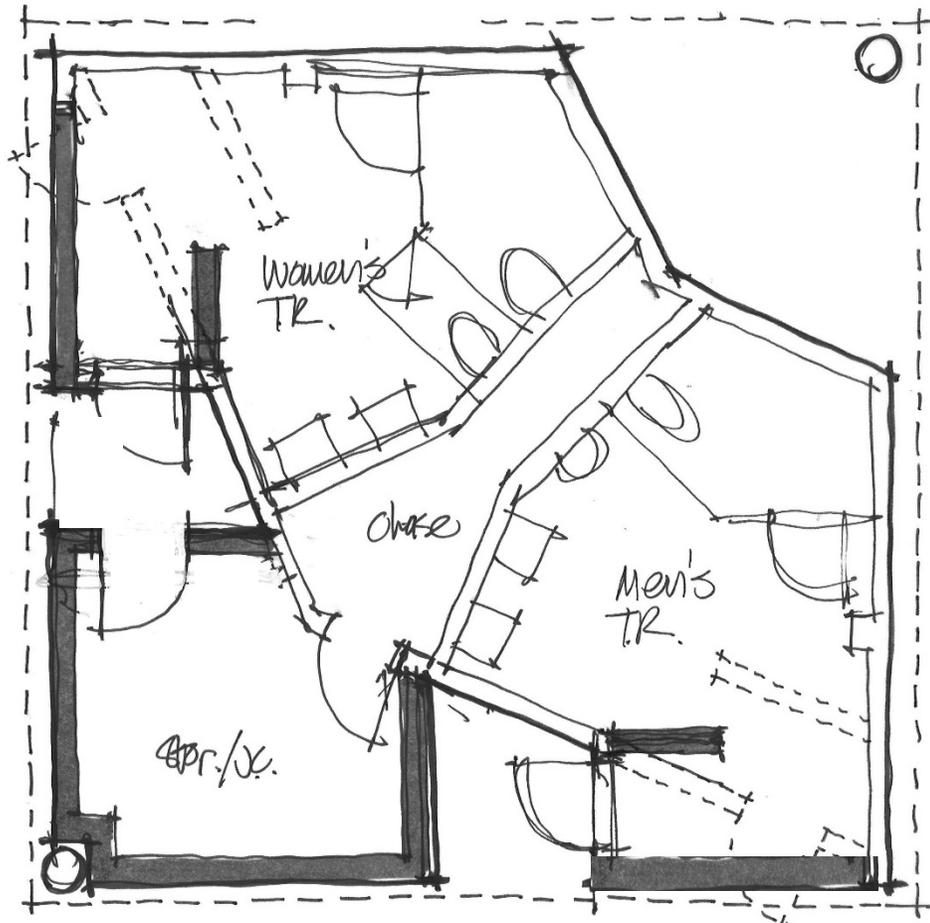
Existing Structure

- Not ADA compliant
- Plumbing chase used for storage
- Odd aesthetic



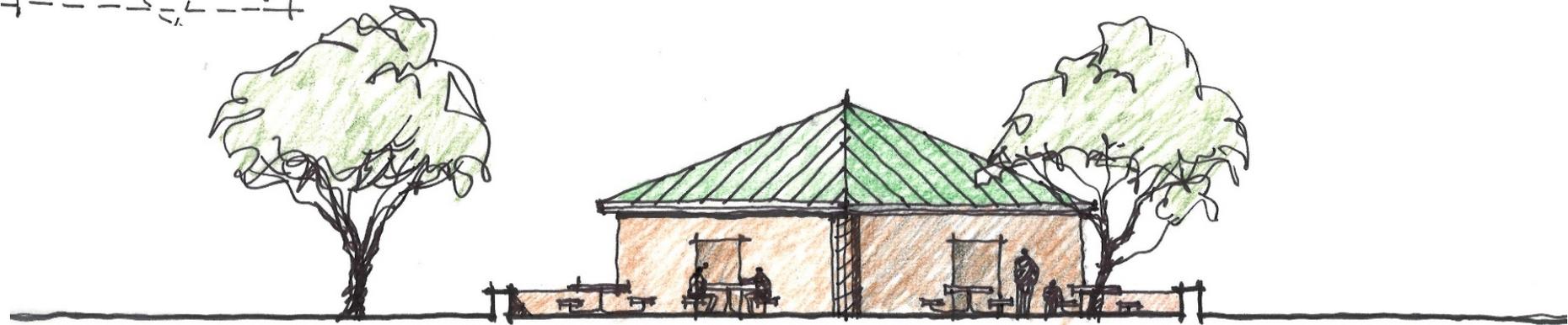
Site Plan

- New low wall enclosure (or hedge)
- New arched entry portal (wood or brick)
- New brick paver seating area with picnic tables



Floor Plan Elevation

- New ADA compliant entries
- New storage and janitorial closet
- Replace fixtures
- New standing seam metal roof
- New doors and frames
- Refinished eave trim



Pavilion



Existing
Structure



Precedents



Site Plan

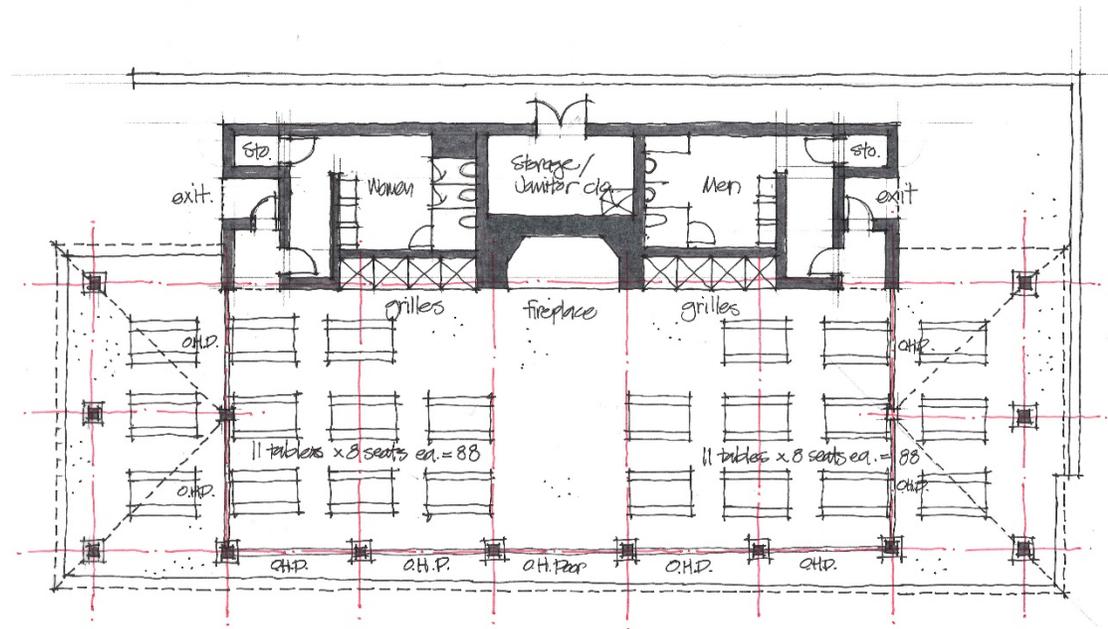
- Pavilion oriented toward center green space
- Covered and open seating options
- Retaining wall and toilet core mass enhance shelter
- Interesting perspective from Elisworth Road



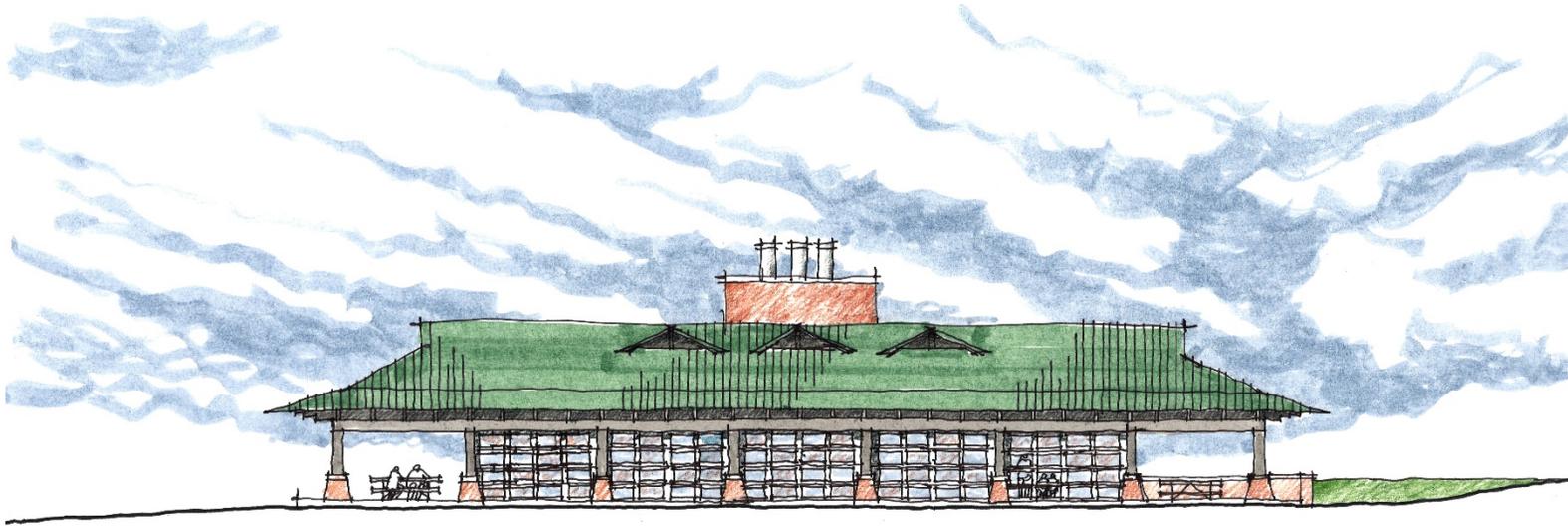
Arrival Point Pavilion



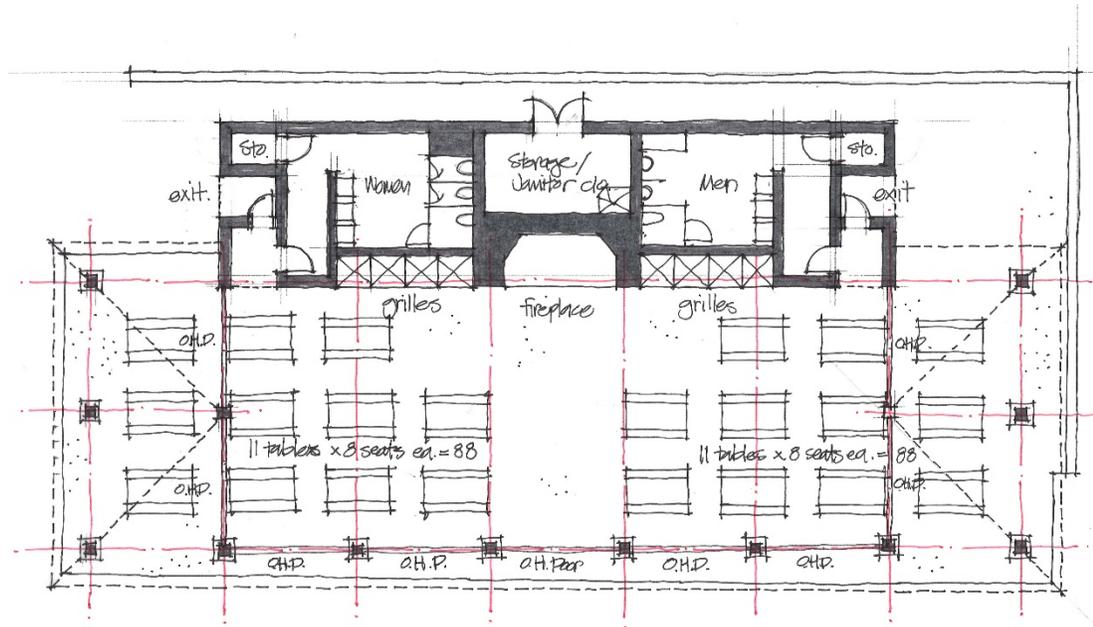
Long Elevation (Doors Up) + Plan



- Standing seam metal roof
- Brick core containing toilets, fireplace, grilles, storage
- Core and retaining walls provide additional shelter and enclosure



Long Elevation (Doors Down) + Plan

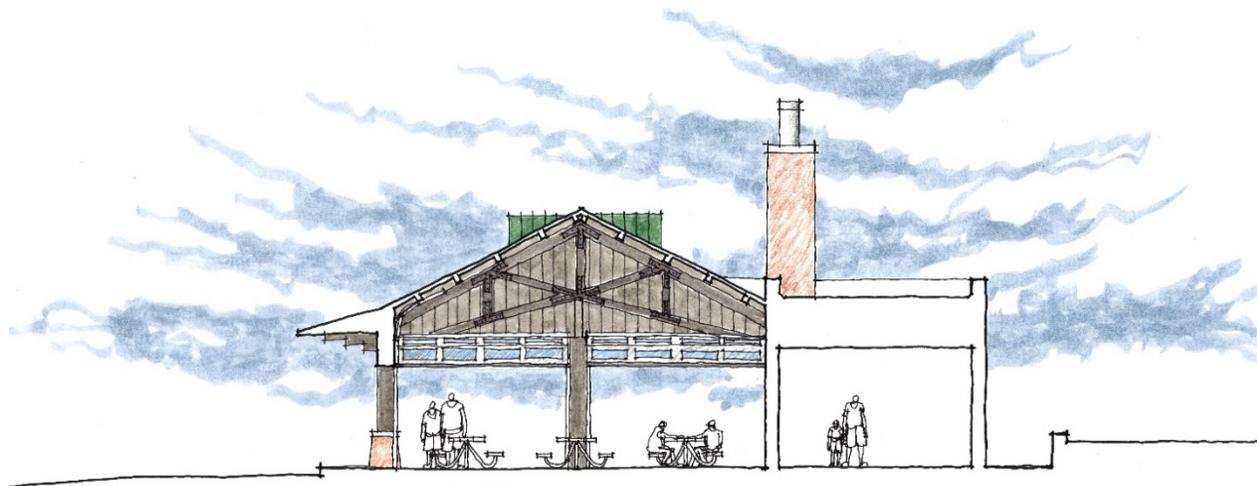


- Aluminum and glass overhead doors
- Two exit doors required



End Elevation + Cross Section

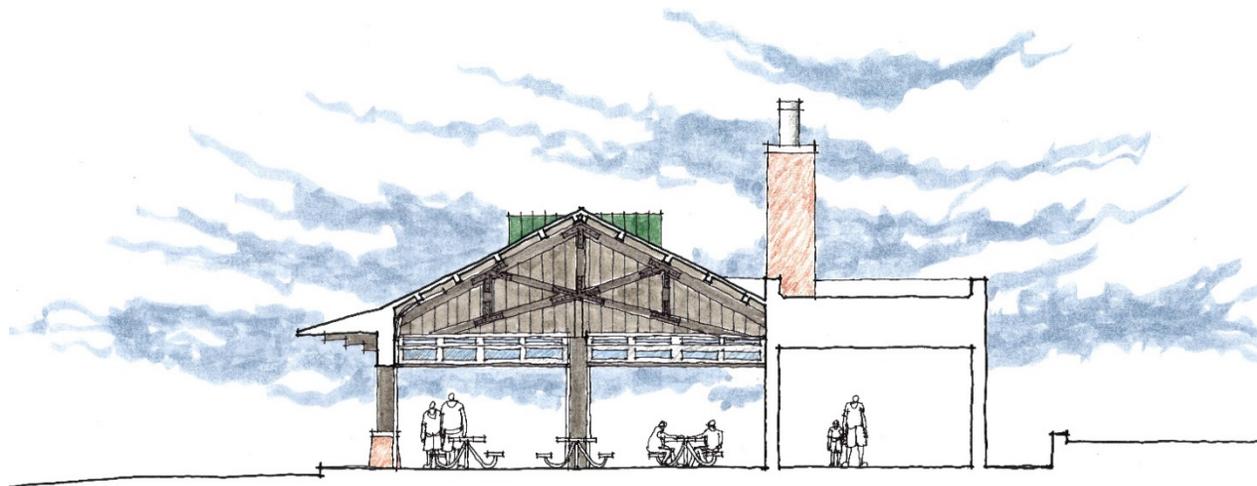
- Overhead Doors open into truss space, provide complete enclosure when down

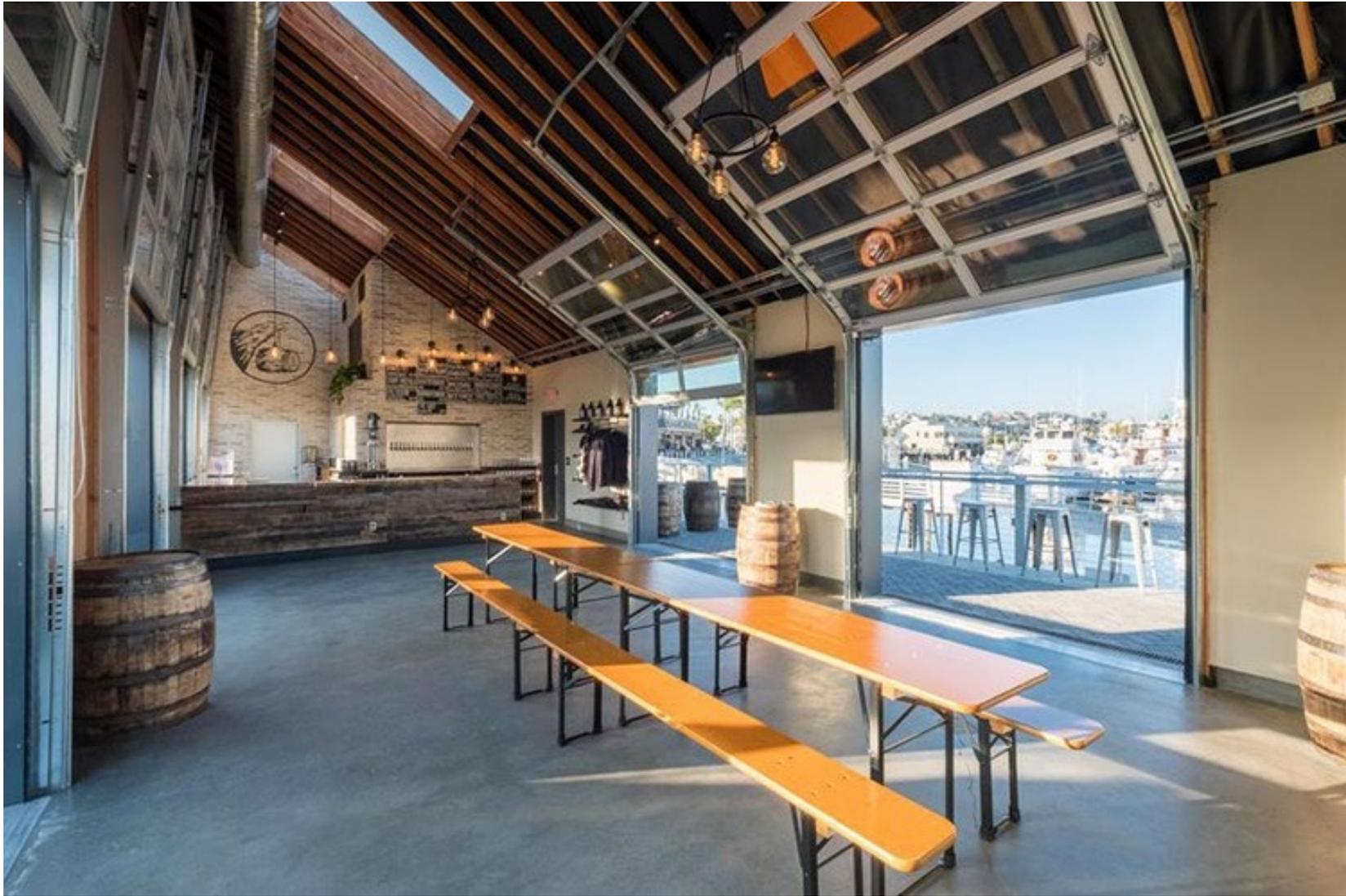




End Elevation + Cross Section

- Overhead Doors open into truss space, provide complete enclosure when down





Glass and Aluminum Overhead Doors



Image Landsat / Copernicus
© 2018 Google
Image NOAA

Google Earth

2000

42°13'51.69" N 83°40'26.93" W elev 827 ft eye alt 900 ft



© 2018 Google

Google Earth

42812'53.28" N, 93840'26.65" W, elev: 841 ft, view alt: 1120 ft



Image Landsat/ Copernicus
© 2018 Google
Image NOAA

Google Earth

Imagery Date: 7/5/2018 42°13'51.10" N 83°40'26.95" W elev 830 ft eye alt 885 ft

2000

Preliminary Schedule

Opinion of Probable Cost

STANTEC CONSULTING MICHIGAN - ENGINEER'S OPINION OF CONSTRUCTION COST



**Pittsfield Charter Township
Montibeller Park Improvements**

Conceptual	<input checked="" type="checkbox"/>
Preliminary	
Final (As Bid)	

Project Number: 2075140800
 Prepared By: JEL
 Checked By:
 Date: November 22, 2019

DESCRIPTION	QUANT.	UNIT	UNIT COST	TOTAL COST
1 Mobilization: signage, staging, bonds, etc.	1	LSUM	\$10,000.00	\$10,000
2 Construction Staking	1	LSUM	\$7,500.00	\$7,500
3 Tennis court removal	1,800	Syd	\$6.00	\$10,800
4 Existing path removal - connection to playground, asphalt path	200	Syd	\$6.00	\$1,200
5 Deciduous trees - 2" caliper	16	EA	\$250.00	\$4,000
6 Existing Parking - gravel top dress west parking lot	110	Cyd	\$40.00	\$4,400
7 Pave and stripe parking, barrier free areas only -west parking lot	285	Syd	\$35.00	\$9,975
8 Curb stops west parking lot	46	EA	\$80.00	\$3,680
9 Curb - gravel entry drive, parking perimeter and 2 islands -west parking lot	574	LF	\$25.00	\$14,350
10 Concrete apron (5 inch) - entry drive inside right-of-way	140	Syd	\$50.00	\$7,000
11 Existing Parking - gravel top dress east parking lot	243	Cyd	\$40.00	\$9,720
12 Pave and stripe parking, barrier free areas only -east parking lot	70	Syd	\$35.00	\$2,450
13 Curb stops east parking lot	53	EA	\$80.00	\$4,240
14 Curb - gravel entry drive, parking perimeter and 3 islands -west parking lot	786	LF	\$25.00	\$19,650
15 Concrete apron (5 inch) - East entry drive inside right-of-way	140	Syd	\$50.00	\$7,000
16 Concrete sidewalk (5ft wide x 4 inch) - east side of gravel parking lot	1,141	SF	\$4.00	\$4,564
17 Concrete sidewalk (8ft wide x 4 inch) - parking lot to shelter	1,765	SF	\$4.00	\$7,060
18 Concrete sidewalk (5ft wide x 4 inch) - at existing restroom building (not plaza space)	2,397	SF	\$4.00	\$9,588
19 Concrete sidewalk - area behind home plate	1,000	SF	\$4.00	\$4,000
20 Seed, straw, fertilize - turf areas	10,000	Syd	\$2.50	\$25,000
21 No-Mow areas - no new seed mix proposed	19,679	Syd	\$0.00	\$0
22 Building - existing restroom renovation	1	EA	\$150,000.00	\$150,000
23 Building - existing restroom hardscape, arched portal, turf renovation	1	LSUM	\$15,000.00	\$15,000
24 Building - new pavilion, demo existing shelter	1	EA	\$850,000.00	\$850,000
25 Building - new pavilion plaza space	2,280	SF	\$4.00	\$9,120
26 Building - 14'x22' storage shed, demo existing shed	1	EA	\$5,000.00	\$5,000
27 Erosion Control, Silt Fence, project perimeter	10,000	Ft	\$1.50	\$15,000

28 Mudmat Access Road	1	LSUM	\$5,000.00	\$5,000
29 Baseball field renovation, HR fence,	1,800	LF	\$35.00	\$63,000
30 Site Grading	1	LSUM	\$25,000.00	\$25,000
31 8 foot wide asphalt path, east-west, by others not included (in transmission esmt)	1,900	LF	\$0.00	\$0
32 5 foot wide limestone path - 8" deep, 5' wide, 2592' long	640	TONS	\$30.00	\$19,200
33 8 foot wide limestone path - 8" deep, 8' wide, 2466 long (alternative funding source)	974	TONS	\$30.00	\$0
34 Pedestrian bridge over paint creek (by others)	1	EA	\$120,000.00	\$0
35 Ellsworth Mid-Block - (alternative funding source)	1	EA	\$50,000.00	\$0
36 Fire Station signal (by others)	1	EA	\$150,000.00	\$0
37 Stream restoration, Invasive species control (future project)	1	EA	\$0.00	\$0
38 Water Quality, rain gardens (location to be determined - adj. gravel parking, adj pavilion)	3	Ea	\$15,000.00	\$45,000
39 Arrival Point - brick pavers on concrete base	730	SF	\$20.00	\$14,600
40 Arrival Point - 4 post, 10'x10' open-air shelter	1	EA	\$15,000.00	\$15,000
41 Arrival Point - kiosk	1	EA	\$3,500.00	\$3,500
42 Arrival Point - bike rack	1	EA	\$1,000.00	\$1,000
43 Arrival Point - bench	4	EA	\$500.00	\$2,000
44 Arrival Point - trash cans	2	EA	\$300.00	\$600
45 Resurface tennis courts with Nova ProBounce	1	EA	\$90,000.00	\$90,000
SUBTOTAL ESTIMATE				\$1,494,197
CONSTRUCTION CONTINGENCIES			10%	\$149,000
TOTAL ESTIMATED CONSTRUCTION COST				\$1,643,197
NOTE: The ENGINEER has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Contractor's method of determining prices, or over competitive bidding or market conditions. Opinions of probable project costs and construction costs provided herein are made on the basis of the ENGINEER'S professional judgement and experience. The ENGINEER cannot and does not guarantee that proposals, bids or actual project or construction costs will not vary from the prepared opinion of probable cost.				